

BELLEVUE PLANNING COMMISSION MEETING: +++Amended Agenda+++

Thursday, March 24, 2022 6:00 PM

Bellevue City Hall

1500 Wall Street

Bellevue, NE 68005

1. CALL TO ORDER:

- a. Pledge of Allegiance
- b. Roll Call
- c. The Open Meetings Act location
- d. Approve Minutes of January 27, 2022 Regular Meeting
- e. Accept into the record all staff reports, attachments, memos, and handouts regarding each application.

2. CONSENT AGENDA/PUBLIC HEARINGS:

- a. Request to final plat Lots 1 through 38, and Outlot A, Chandler Creek, being a platting of Tax Lot H2 located in the Southwest $\frac{1}{4}$ of Section 16, T14N, R13E of the 6th P.M., Sarpy County, Nebraska. Applicant: TKC Chandler, LLC. General location: South 35th Street and W Chandler Rd. Case #: S-2202-07.
- b. Request to rezone Lots 1 and 2, Overlook Addition, being a replat of Tax Lot 10B, located in the Southwest $\frac{1}{4}$ of Section 10, T13N, R13E of the 6th P.M., Sarpy County, Nebraska from AG to RS-120 for the purpose of single family residential development; and small subdivision plat Lots 1 and 2, Overlook Addition. Applicant: Cheryl and James Francois. General location: 2006 Fairview Road. Case #'s: Z-2202-02, S-2202-03.

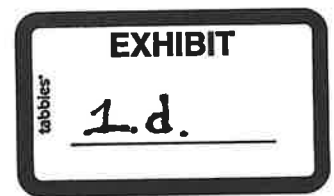
3. PUBLIC HEARINGS:

- a. Request to rezone Lot 1, Powers Addition, from ML to RE for the purpose of existing single family residential development. Applicant: Jeremiah Winsor. General Location: 304 E La Platte Road. Case #: Z-2202-03.
- b. Request for site plan approval for Lots 237A1A1, 237C, 237D, 237E, 237F, & 238C, Fontenelle, for the purpose of an 11-unit apartment building. Applicant: MFR Partners XVI, LLC. General location: Country Club Court and West Martin Drive. Case #: Z-2202-04.
- c. Request to annex Sanitary and Improvement Districts #67 Normandy Hills and #242 Cedar View; and all abutting rights-of-way. Applicant: City of Bellevue.
- d. Request to annex Tax Lot 9A1 except right of way, Section 23-13-13, Tax Lot 9B except right of way, Section 23-13-13, and the Irregular Northeasterly Part of Tax Lots 14A and 14B, Section 23-13-13; all located in Section 23, T13N, R13E of the 6th P.M.; and all abutting rights-of-way. Applicant: City of Bellevue
- e. Request to annex Tax Lots 5A and 16A and the Northeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$, and the North $\frac{1}{2}$ of the Southeast $\frac{1}{4}$, West of Road, located in Section 23, T13N, R13E of the 6th P.M., and Part of Tax Lot 3, Lying West of 5th Street, located in Section 14, T13N, R13E of the 6th P.M.; and all abutting rights-of-way. Applicant: City of Bellevue.
- f. Request to annex Part of Tax Lot F1A, and Part of Tax Lot J except part taken for NRD, Tax Lot F1B, and Part of Tax Lot H, Part of Tax Lot F1A, Part of Tax Lot J taken for NRD, and Part of Tax Lot K, all located in Section 11, T13N, R13E of the 6th P.M.; Part of Lots 12A, 13B, and 14B, Butterfields Subdivision, Part of Lot 13A North of drainage ditch and Part of Lot 14, Butterfields Subdivision, all except part for NRD, Part of Lot 13 and Part of Lot 14, Butterfields Subdivision, all for NRD (Parcel ID 011605117), Part of Tax Lot 14 located in Section 11, T13N, R13E of the 6th P.M. together with Lots 13C and 12B, Butterfields Subdivision; Part of

vacated State Right-of-Way in the East ½ of the East ½ of the Southeast ¼ and adjacent Tax Lot 14, Section 10, T13N, R13E of the 6th P.M., Part of vacated State Right-of-Way in the Southwest ¼ of the Southwest ¼ West of Fort Crook Road South, Section 11, T13N, R13E of the 6th P.M., and Lot 1C, Palmtag's Subdivision; and all abutting rights-of-way. Applicant: City of Bellevue.

4. CURRENT BUSINESS

5. ADJOURNMENT



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Bellevue Planning Commission Meeting January 27, 2022, Page 1

The Bellevue Planning Commission held a regular meeting on Thursday, January 27, 2022 at 6:00 p.m. in the Bellevue City Council Chambers. Upon roll call, present were Commissioners, Casey, Hankins, Aerni, Ackley, Perrin, Compton, and Jacobson. Absent were Commissioners, Cutsforth, and Ritz. Also present were Tammi Palm, Planning Department Manager, and Angela Curry, Assistant Planning Manager.

Notice of this meeting was given in advance thereof by publication in the Gretna Guide and News and posting in two public places and was also given to the Chairperson and members prior to the meeting. These minutes were written and available for public inspection within ten days of the meeting.

Aerni announced a copy of the Open Meetings Act was posted in the entry to the City Council Chambers.

Motion was made by Ackley, seconded by Compton, to approve the minutes of the December 16, 2021, regular meeting as presented. Upon roll call, all present voted yes. Motion carried unanimously.

Aerni asked if there were any updates or additions to staff reports. Palm advised twenty additional emails were received on Agenda Item 3.b., and stated all items were forwarded to the Commission members ahead of tonight's meeting. Additionally, hard copies had been provided as well.

Motion was made by Jacobson, seconded by Casey, to accept into the record all staff reports, attachments, memos, and handouts regarding each application including the two additional handouts. Upon roll call, Casey, Hankins, Aerni, Ackley, Perrin, and Jacobson voted yes. Compton voted no. Motion carried.

Aerni explained the public hearing procedures

PUBLIC HEARING was held on a request to rezone Lot 1, F.J. Fitzgerald's Subdivision, Replat 2, located in the Northeast ¼ of Section 15, T14N, R13E of the 6th P.M., Sarpy County, NE, from RS-84 and ML to BN for the purpose of a childcare center. Applicant: Maria M. Hernandez. General Location: 2516 Chandler Road East. Case #: Z-2112-25.

Aerni asked staff for updates. Palm stated the applicant is requesting the rezoning of an existing platted parcel currently zoned RS-84 (Single-family Residential) and ML (Light Manufacturing). She stated the light industrial and residential are not compatible on the same lot. She said the applicant is requesting BN (Neighborhood Business) zoning which is the most restrictive commercial zoning. Palm stated the applicant plans to open a commercial childcare facility. She said it would fit well as a buffer between the existing light industrial uses adjacent to the property, convenience store to the south, and the single-family residences to the east. Palm said staff is in favor of this request.

There was no one present to speak in favor of, or in opposition to this request. Subsequently, Aerni closed the public hearing.

MOTION was made by Ackley, seconded by Hankins to recommend APPROVAL of a request to rezone Lot 1, F.J. Fitzgerald's Subdivision, Replat 2, located in the Northeast ¼ of Section 15, T14N, R13E of the 6th P.M., Sarpy County, NE, from RS-84 and ML to BN for the purpose of a childcare center. Applicant: Maria M. Hernandez. General Location: 2516 Chandler Road East. Case #: Z-2112-25. APPROVAL based upon a lack of perceived negative impact to the surrounding area. Upon roll call, all present voted yes. Motion carried unanimously.

This item will proceed to City Council for PUBLIC HEARING ON March 1, 2022.

PUBLIC HEARING was held on a request for site plan approval for Lots 1 through 63, and Outlots A through C, Belle Lago Replat 2, being a replat of Lots 1 through 72, and Outlots A and B, Belle Lago Replat 1, for the purpose of multi-family development; preliminary plat Lots 1 through 63, and Outlots A through C, Belle Lago Replat 2; and final plat Lots 1 through 63, and Outlots A through C, Belle Lago Replat 2. Applicant: HRC Belle Lago Brownstones, LLC. General Location: 48th Street and Capehart Road. Case #'s: S-2112-31, S-2112-32, Z-2112-26.

Aerni asked staff for updates. Palm stated the Planning Department received 20 emails from residents regarding this case. She said the emails express traffic concerns at the intersection of 48th Street and Capehart Road with the construction of this development. Palm gave a summary of the project stating Belle Lago was originally platted and approved for site plan and rezoning in 2017 for a 120-unit multi-family residential development. She said a few years later the applicant submitted a request for site plan approval for 72 Brownstone units. Palm stated the applicant's current request would be for replatting and site plan approval for 63 residential units; nearly a 50% reduction from the original (2017) proposed development. She said the development will consist of duplexes and brownstones (row house type development). Palm stated the applicant

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is not requesting a change of zone at this time. Palm then addressed a few concerns stated on the emails received prior to the meeting. She stated the project would consist of attached single family homes and not apartment buildings. Palm said a traffic study was done on the intersection of 48th Street and Capehart Road when the development was originally approved. She said the intersection of 48th/Capehart is under Sarpy County's jurisdiction. Palm stated she spoke with Sarpy County Public Works Senior Engineer Zach Hergenrader who indicated the County will update the traffic study for that area. Palm stated Sarpy County is aware of the neighbors' request for an updated traffic study. Palm stated if the traffic study warrants signalization the Sanitary Improvement Districts (SID's) would cost share as written in their Subdivision Agreements.

Larry Jobeun, 11440 West Center Road, Omaha, NE, was present to speak on behalf of the applicant. Jobeun stated the original site plan was for 120 lots, later plated for 72 lots, and the current site plan was for 63 lots. Using the site plan provided, Jobeun provided a brief description of the lots. He stated there would be twelve ranch style duplex units, nine 4-plex buildings, and fifteen 5-plex units with Outlot C being green space. He stated all units would have basements and garages. Jobeun said internal roads would be privately maintained. Jobeun stated the approximate value of the duplex lots would be \$300,000 each, 4-plex ranch units \$300,000 each, the two story 4-plex units \$270,000 each, and the midtown 5-plex attached row houses would be approximately \$225,000 each. Jobeun said he is in line with neighbors' belief that there should be a traffic signal at the 48th Street and Capehart Road intersection.

Palm stated there was a technical deficiency listed in the staff report, which has been satisfied by the applicant.

Shanda Clark, 4607 Lawnwood Drive, Papillion, NE, was present. Clark stated she would like to clarify for the record, the form letter she had did not state apartments but referred to a multi-family development. Clark stated her main concern was traffic at both 45th Street and Capehart Road and 48th Street and Capehart Road intersections. She said merging onto Capehart Road from 45th Street would become even more difficult and dangerous with the future increase in residents to this area and current terrain. Clark stated she would like to see some type of access improvement at 48th Street and Capehart Road.

Mark Westergard, E&A Consulting Group, 10909 Mill Valley Rd #100, Omaha, NE, was present to speak on behalf of the applicant. Westergard stated the traffic study performed by Sarpy County might include 45th Street as well as the intersection at 48th Street/Leawood Drive. He said their Subdivision Agreement stated they would be a participant in the signaling or road improvements. Westergard stated other subdivisions might participate in taking on a portion of the cost to signal both intersections. He gave a brief explanation on traffic studies. He stated when a traffic study is done, they look at volume and warrants. Westergard said warrants look at how many accidents have occurred, traffic volume at peak times and ques before placing a signal. He stated only one criterion must be met to install a signal.

There was no one else present to speak in favor of, or in opposition to this request. Subsequently, Aerni closed the public hearing.

Casey commented several of the letters received mentioned the development of an elementary school. He stated for the record there were no existing plans for the development of a school and hoped a signal would be in place first.

Ackley stated although it brings no comfort to residents, the current number of proposed units were less than the original plan, but several new subdivisions were built since the previous plan was discussed. Ackley stated everyone must wait to see if any warrants were met with the County to justify traffic calming measures. He stated development often gets ahead of street infrastructure. He offered South 36th Street as an example with only two lanes and continuous additions, and 20 years later improvements were being made by putting in a 3rd lane. Ackley stated the goal of good planning for the future includes having rights-of-way wide enough to widen roads as time goes on. He said the 48th Street and Capehart area is well designed and ready for future improvements.

Aerni asked staff if they knew how many single-family villas currently exist near Schilling Drive. Palm stated the current zoning of RG-8 supports 800 square feet of lot area per dwelling unit and allows the densest multi-family development. She said what the developer presented was significantly less than what could be done under the current zoning. Aerni said if all the units were single-family housing like the rest of the neighborhood, it would appear there would be an increase in housing from 20 single-family homes to 63 single-family homes. Discussion ensued regarding traffic at the intersection of South 48th Street and Capehart Road. Palm stated the city has open communication with Sarpy County and would track the progress of the traffic study.

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Casey asked the applicant when they expected to begin construction. Jobeun stated they have started grading, and streets would be added next. He said vertical construction would begin next year. Casey said that should give the County some time to complete the traffic study.

Jacobson asked staff if the lots discussed would follow normal zoning requirements including sidewalks along Lawnwood. Palm said yes. Jacobson asked if the Capehart Road traffic study would only look at traffic and not pedestrian build outs like sidewalks. Palm said they typically look at vehicular traffic and not pedestrian movement. Jacobson stated the zoning change was also within the ETJ (Extraterritorial Jurisdiction) and his concern was integration of the various developments. Aerni stated the trail exists on the west side of South 48th street from Capehart Road to the south for pedestrian movement.

MOTION was made by Ackley, seconded by Jacobson to recommend APPROVAL of a request for site plan approval for Lots 1 through 63, and Outlots A through C, Belle Lago Replat 2, being a replat of Lots 1 through 72, and Outlots A and B, Belle Lago Replat 1, for the purpose of multi-family development; preliminary plat Lots 1 through 63, and Outlots A through C, Belle Lago Replat 2; and final plat Lots 1 through 63, and Outlots A through C, Belle Lago Replat 2. Applicant: HRC Belle Lago Brownstones, LLC. General Location: 48th Street and Capehart Road. Case #'s: S-2112-31, S-2112-32, Z-2112-26. APPROVAL based upon conformance with the Zoning Ordinance, Subdivision Regulations, and a lack of perceived negative impact to the surrounding area and completion of the technical deficiency. Upon roll call, all present voted yes. Motion carried unanimously.

This item will proceed to City Council for PUBLIC HEARING ON March 1, 2022.

PUBLIC HEARING was held on a request to rezone Lots 154 through 196, and Outlots "F" through "J," Spring Ridge, being a platting of Tax Lot 12, Tax Lot 13A, Lot 2 Bohac Addition, and Outlot B, Green Meadows, all located in the Southwest ¼ of Section 22, T14N, R13E of the 6th P.M., Sarpy County, NE, from AG and BG to RA, BG, and RG-8-PS for the purpose of single family and multi-family residential development; and preliminary plat Lots 154 through 196, and Outlots "F" through "J," Spring Ridge. Applicant: Orchard Valley, Inc. General Location: South 21st Street and Gilmore Lake Road. Case #'s: Z-2103-02 and S-2103-05

Aerni asked staff for updates. Palm stated this request was to rezone and replat an area known as Phases 4 and 5, Spring Ridge. She stated the first three phases were currently under construction. Palm stated in 2014 the area was approved for multi-family zoning and the applicant was now requesting a denser multi-family zoning for multi-family, row house, and single-family development. Palm stated a traffic study was done in 2014 and updated with this request. She said because of the most recent traffic study recommendations were made for improvements along South 25th Street in the form of turn lanes. Palm stated the improvement of Gilmore Lake Road was a condition of approval and the city was working with the developer and his attorney on a Memorandum of Understand (MOU) and Subdivision Agreement that would be presented with the final plat.

Joe Foley, FoleyShald Engineering, 14503 Grover Street, Omaha, NE, was present on behalf of the applicant. Foley stated they submitted a revised preliminary plat showing a multi-family development with 20 single-family lots, 74 townhome units, and 408 multi-family units. The multi-family would have lower-level parking. He stated the rowhomes are to the south between Marlee Court and Morrie Drive, traditional multi-family between Lola Circle and Marlee Court, and single-family residential to the north between Lola Avenue and Lola Circle and a club house just south of Gilmore Lake Plaza. Foley said the projected valuation would be approximately \$62,000,000. He said Patricia Kyle submitted a letter of concern regarding drainage across Gilmore Lake Road. Foley stated the existing culvert is undersized but would be corrected with the proposed improvements. He said Gilmore Lake Road and South 25th Street improvements would happen within the first phase of the project.

There was no one else present to speak in favor of, or opposition to this request. Subsequently, Aerni closed the public hearing.

Ackley stated the townhome concept, having the apartments abut the interstate is in compliance, and he is in support of the project.

Aerni asked Foley to briefly explain plans to correct property lines and agreements with the Veterans of Foreign Wars (VFW). He stated the existing VFW, lake, and parking lot will remain as is. He said part of the plat would be dedicated to the VFW and where the current lot line splits the lake will become VFW property. He said a new entrance is projected off Gilmore Lake Road to enter the VFW parking lot.

MOTION was made by Casey, seconded by Compton to recommend APPROVAL of a request to rezone Lots 154 through 196, and Outlots "F" through "J," Spring Ridge, being a platting of Tax Lot 12, Tax Lot 13A, Lot 2 Bohac Addition, and Outlot B, Green Meadows, all located in the Southwest ¼ of Section 22, T14N, R13E of

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the 6th P.M., Sarpy County, NE, from AG and BG to RA, BG, and RG-8-PS for the purpose of single family and multi-family residential development; and preliminary plat Lots 154 through 196, and Outlots "F" through "J," Spring Ridge. Applicant: Orchard Valley, Inc. General Location: South 21st Street and Gilmore Lake Road. Case #'s: Z-2103-02 and S-2103-05. APPROVAL based upon conformance with the Zoning Ordinance, Comprehensive Plan, and Subdivision Regulations. Upon roll call, all present voted yes. Motion carried unanimously.

This item will proceed to City Council for PUBLIC HEARING ON March 1, 2022.

PUBLIC HEARING was held on a request to approve the redevelopment plan for Lot 5, Edward Warren Addition, and Tax Lot H2, Located in the Southwest ¼ of Section 16, T14N, R13E, of the 6th P.M., Sarpy County, Nebraska. Applicant: TKC Chandler, LLC. General Location: W Chandler Rd and S 35th Street. Case #: ECD #54.

Aerni asked staff for updates. Palm stated applicant is requesting approximately \$1,800,000 in Tax Increment Financing (TIF) for an infill development project located near South 35th Street and West Chandler Road. She said the applicant's request was to develop approximately 10 acres of vacant land and rehabilitate an existing single-family residence located to the east. Palm stated the applicant planned to develop 38 single family residential homes of 1,600 to 1,700 square feet. She said the estimated assessed valuation on completion would be just under \$11,000,000. Palm said the Planning Department is in support of this application. She stated it is a good example of infill development and would serve the need for additional housing in this area.

Elizabeth Sevcik 5011 Clearwater Drive, Fort Calhoun, NE, was present on behalf of the applicant. Sevcik stated they were previously approved for a blighted and substandard request for this area and approval of the Redevelopment Plan is the next step in this process. She said the project would not be economically feasible without the use of TIF. Sevcik stated they would rehabilitate the home to the west of the project as well. She stated a rezoning from RS-72 to RD-60 would be required as well. She stated the Future Land Use Map shows this parcel of land as low density however, the surrounding parcels were medium density and consistent with the use requested.

Casey asked the applicant to clarify the home to be remodeled, who owns the home and why they would not consider tearing it down. Sevcik pointed out the house adjacent and east of the property to be the home in question. She said the house was missing shingles and would need rehabilitation. She stated the applicant currently owned the house and considered options to tear it down or significantly rehabilitate. She stated they could not incorporate the house into the proposed development due to road infrastructure.

Ackley commented TIF was once only available for commercial property but over time had become available for multi-family and single-family development if requirements were met. He stated he was not in complete agreement with this for single family development, but it does comply with current statutes. He said the plan submitted would blend in well with the community to the east and would be a great infill project. Ackley stated the applicant provided a clear example of "but for TIF" even with profit built in there wasn't much margin. He applauded the applicant on the calculations provided for return on investments.

MOTION was made by Jacobson, seconded by Ackley to recommend APPROVAL of a request to approve the redevelopment plan for Lot 5, Edward Warren Addition, and Tax Lot H2, Located in the Southwest ¼ of Section 16, T14N, R13E, of the 6th P.M., Sarpy County, Nebraska. Applicant: TKC Chandler, LLC. General Location: W Chandler Rd and S 35th Street. Case #: ECD #54. APPROVAL based upon conformance with the Comprehensive Plan, elimination of a blighted and substandard area, conformance with the requirements of the State Statutes, and the opportunity for redevelopment along West Chandler Road. Upon roll call, all present voted yes. Motion carried unanimously.

This item will proceed to City Council for PUBLIC HEARING ON March 1, 2022

PUBLIC HEARING was held on a request to rezone Lots 1 through 38, and Outlot A, Chandler Creek, being a platting of Tax Lot H2, located in the Southwest ¼ of Section 16, T14N, R13E of the 6th P.M., Sarpy County, NE, from RS-72 to RD-60 for the purpose of single-family residential development; and preliminary plat Lots 1 through 38, and Outlot A, Chandler Creek. Applicant: TKC Chandler, LLC. General location: W Chandler Rd. and S 35th Street. Case #'s: Z-2110-20 and S-2110-25.

Aerni asked staff for updates. Palm stated the property was very difficult to develop being a smaller tract of land with topography and the natural drainage making it unique. She stated the proposal was for 38 units and the applicant's request was to rezone from RS-72 (Single Family Residential – 7,200 Square Foot Zone) to RD-60 (Duplex Residential - 6,000 Square Foot Zone) and staff was supportive of that request. Palm stated although the lots were smaller, they were consistent with what was currently developed in that area, especially the lots on

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the north side of West Chandler Road. She said lots on the north side were zoned RS-72 but they were platted while still in the County's jurisdiction and would conform to RD-60 zoning. Palm stated the Planning Department and Public Works Department looked at possible future street connections and concluded the layout provided would be best for this project when considering topography and drainage. She said the property to the south had single family and acreage lots and the family was not interested in developing at this time. Palm stated a small portion of land belonging to the property owner to the south was platted up to West Chandler Road. She stated the applicant incorporated a five-foot easement on the eastern portion of several lots that would allow the width needed for a private street to the north if there were interest in development to the south. Palm said staff believed this was an appropriate example of good infill development. She stated the land is within city limits which allowed for the designation of blighted and substandard. Palm said the developer would be financing the project with TIF, if approved.

Doug Kellner, TD2, 10836 Old Mill Road, Omaha, NE 68154 was present on behalf of the applicant and available to answer questions.

Ackley commented the rezoning and preliminary plat were the next step in completion of the redevelopment plan for this site.

There was no one present to speak in favor of, or opposition to this request. Subsequently, Aerni closed the public hearing.

MOTION was made by Ackley, seconded by Perrin to recommend APPROVAL of a request to rezone Lots 1 through 38, and Outlot A, Chandler Creek, being a platting of Tax Lot H2, located in the Southwest ¼ of Section 16, T14N, R13E of the 6th P.M., Sarpy County, NE, from RS-72 to RD-60 for the purpose of single family residential development; and preliminary plat Lots 1 through 38, and Outlot A, Chandler Creek. Applicant: TKC Chandler, LLC. General location: W Chandler Rd. and S 35th Street. Case #'s: Z-2110-20 and S-2110-25. APPROVAL based upon conformance with the Zoning Ordinance, Subdivision Regulations, and compatibility with adjacent residential developments. Upon roll call, all present voted yes. Motion carried unanimously.

This item will proceed to City Council for PUBLIC HEARING ON March 1, 2022.

PUBLIC HEARING was held on a request to rezone Lots 1 through 191, and Outlots A through H, Lakewood West, being a platting of the East ½ of the Southwest ¼, together with the Northwest ¼ of the Southeast ¼; all located in Section 31, T14N, R13E of the 6th P.M., Sarpy County, NE, from AG to RA, BG, RG-20-PS, RG-50, and RS-72 for the purpose of commercial, multi-family, and single-family residential development; and preliminary plat Lots 1 through 191, and Outlots A through H, Lakewood West. Applicant: Woodsonia Real Estate Inc. General Location: S 54th Street and Hwy 370. Case #'s: Z-2110-19 and S-2110-24.

Aerni asked staff for updates. Palm said the application was for a platting and rezoning request for property at South 54th Street and Highway (Hwy) 370. She said the applicant was requesting commercial frontage along Highway 370 and would be zoned General Business District (BG). She stated south of the commercial would be multi-family residential and would be zoned General Residential, 2,000 Square Foot, Planned Subdivision (RG-20-PS), with townhome villa type lots to be zoned General Residential, 5,000 Square Foot Zone (RG-50), and larger single-family homes farthest south to be zoned RS-72 (Single Family Residential – 7,200 Square Foot Zone). Palm stated site plan approval would be requested at a later date and would be for the multi-family residential portion of the development. She stated to the east of South 54th Street and South of Hwy 370 was Greenlife Gardens Nursery and offices. She said Greenlife would remain at this location and has requested a Residential Agriculture (RA) zoning. Palm stated the RA zoning would allow Greenlife to continue their current business. Palm stated the plat mirrored Lakewood Villages to the east. She stated there would be a connection to Hwy 370 through South 54th Street and Shannon Drive and Timberridge Drive would continue into the new development. Palm said the applicant completed a traffic study and recommendations were made for future traffic signaling at South 54th Street and Hwy 370 and turn lanes onto Hwy 370. She stated signalization was recommendation upon full buildout or by the year 2024. Palm stated the applicant had communicated with the Nebraska Department of Transportation (NDOT). Palm said when doing the final plat the subdivision agreement would include the requested improvements, and the development would cost share those improvements.

Larry Jobeun, 11440 West Center Road, Omaha, NE, was present to speak on behalf of the applicant. Jobeun said the project was for a 115-unit subdivision which was consistent with the comprehensive plan. He said there were 115 single family lots. He stated they would submit a site plan later for the two multi-family lots. Jobeun said the 63 RG-50 zoned homes would be approximately \$325,000 – 400,000, while the single family to the south would be \$400,00 – 550,000.

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Mary Lou Gallo, 5308 Timberridge Drive, Bellevue, NE, asked about the developer's plans for Outlot C and Outlot D to include plans for removal of trees along the north and west of her property. She asked who would be responsible for sewer and their plans for connection. Gallo asked if Lots 11 and 12 could ever be rezoned to commercial properties. She asked how construction trucks would be controlled throughout the project.

Jobeun stated Lots 11 and 12 are multi family residential and were a good transition between the commercial lots along Hwy 370 and the single family residential to the south. He stated RG-20-PS zoning calls for multi-family use and those lots would be used as such. He said the current plan was to keep all boundary trees if possible, but the interior trees would be removed. Jobeun stated all construction vehicles would be instructed to enter the development from Hwy 370.

Brad Hike, 10836 Old Mill Road, Omaha, NE, from TD2, was present. Brad stated there was a natural low spot that leads to a large storm sewer structure at the northwest corner of Lot 67 and Timberridge Drive. He said Outlot E would be a detention basin and would capture the runoff from most of the single-family residential area. He stated Lots 11 and 12 would have their own detention basins; Outlot C and Outlot D. Hike stated there was a sanitary sewer stub at the end of South 53rd Street.

Casey asked staff if there were plans to pave Maass Road. Palm stated that would not happen with this application. She said the city looked at what the future streets and corridors would look like in this area. She said they reviewed the City of Papillion Comprehensive Plan to see the proposed street layout to the west. Palm said once the parcel south of the Timmerman Farm develops Schram Road would come in from the west and would be one of the major corridors. She stated there had been discussion on improvements and realigning Maass Road.

Aerni stated if a developer wanted to rezone Lots 11 and 12, they would have to go through the same process. Palm said that is correct, they would go through the same public hearing process. Aerni asked the applicant to explain to Ms. Gallo what they would be doing in her yard regarding the storm sewer easement. Jobeun said they would connect to the existing public storm sewer. Jobeun stated all work would be underground and unintrusive to the property owner.

Jacobson asked if Shannon Drive would become an access road and if most of the traffic from Lakewood Villages would use Shannon Drive. Jobeun said yes. Jobeun stated there is a connection to Shannon Drive at South 48th Street in Lakewood villages. Jacobson asked if that would include South 54th Street. Jobeun said yes. Jacobson asked if the proposed commercial lots would remain the same in size. Palm stated once the commercial zoning is in place it is not unusual for the commercial lots to be replatted to match buyer interest at that time. She stated someone could ask to purchase and combine an adjoining lot or perhaps half of a lot. Palm stated if the zoning is in place the owner could request an administrative replat if there were minimal impact to the neighborhood, no change to traffic, or major infrastructure concerns.

There was no one present to speak in favor of, or opposition to this request. Subsequently, Aerni closed the public hearing.

MOTION was made by Aerni, seconded by Ackley to recommend APPROVAL of a request to Lots 1 through 191, and Outlots A through H, Lakewood West, being a platting of the East ½ of the Southwest ¼, together with the Northwest ¼ of the Southeast ¼; all located in Section 31, T14N, R13E of the 6th P.M., Sarpy County, NE, from AG to RA, BG, RG-20-PS, RG-50, and RS-72 for the purpose of commercial, multi-family, and single-family residential development; and preliminary plat Lots 1 through 191, and Outlots A through H, Lakewood West. Applicant: Woodsonia Real Estate Inc. General Location: S 54th Street and Hwy 370. Case #'s: Z-2110-19 and S-2110-24. APPROVAL based upon conformance with the Zoning Ordinance, Comprehensive Plan, Subdivision Regulations, and compatibility with the adjacent development. Upon roll call, all present voted yes. Motion carried unanimously.

This item will proceed to City Council for PUBLIC HEARING ON March 1, 2021.

Meeting adjourned at 7:25 p.m.



Angela Curry
Assistant Planning Manager

2.a.

**CITY OF BELLEVUE
PLANNING DEPARTMENT**

RECOMMENDATION REPORT # 1

CASE NUMBER: S-2202-07

FOR HEARING OF:
REPORT #1: March 24, 2022

I. GENERAL INFORMATION

A. APPLICANT:

TKC Chandler, LLC
Attn: Thinh (Tim) Tran
1310 Lambart Drive
Papillion, NE 68046

B. PROPERTY OWNERS:

TKC Chandler, LLC
Attn: Thinh (Tim) Tran
1310 Lambart Drive
Papillion, NE 68046

C. GENERAL LOCATION:

35th Street and West Chandler Road

D. LEGAL DESCRIPTION:

Lots 1 through 38, and Outlot A, Chandler Creek, being a platting of part of Tax Lot H2, located in the Southwest $\frac{1}{4}$ of Section 16, T14N, R13E of the 6th P.M., Sarpy County, Nebraska.

E. REQUESTED ACTIONS:

1. Final plat Lots 1 through 38, and Outlot A, Chandler Creek, for the purpose of single-family residential development.

F. EXISTING ZONING AND LAND USE:

AG, Vacant

G. PURPOSE OF REQUEST:

The purpose of this request is to obtain a final plat approval to enable single family residential development.

H. SIZE OF SITE:

The site is approximately 10 acres.

II. BACKGROUND INFORMATION

A. EXISTING CONDITION OF SITE:

The site was most recently used agriculturally.

B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

1. **North:** Single Family Residential, RS-72
2. **East:** Single Family Residential, RS-72
3. **South:** Single Family Residential, RS-72
4. **West:** Single Family Residential, RS-72

C. REVELANT CASE HISTORY:

1. On August 17, 2021, the City Council declared Tax Lot H2 as blighted and substandard.
2. On January 27, 2022, the Planning Commission recommended approval of a request to rezone Lots 1 through 38, and Outlot A, Chandler Creek, being a platting of Tax Lot H2, located in the Southwest $\frac{1}{4}$ of Section 16, T14N, R13E of the 6th P.M., Sarpy County, NE, from RS-72 to RD-60 for the purpose of single family residential development; and preliminary plat Lots 1 through 38, and Outlot A, Chandler Creek. The City Council approved the aforementioned request on March 15, 2022.
3. On January 27, 2022, the Planning Commission recommended approval of a request to approve the redevelopment plan for Lot 5, Edward Warren Addition, and Tax Lot H2, located in the Southwest $\frac{1}{4}$ of Section 16, T13N, R13E of the 6th P.M., Sarpy County, NE. The City Council approved the aforementioned request on March 15, 2022.

D. APPLICABLE REGULATIONS:

1. Chapter 4, Subdivision Regulations, regarding final plats.
2. Chapter 7, Subdivision Regulations, regarding Capital Improvements.

III. ANALYSIS

A. COMPREHENSIVE PLAN:

The Future Land Use Map of the Comprehensive Plan designates this area as low density residential.

B. OTHER PLANS:

None

C. TRAFFIC AND ACCESS:

1. The most recent traffic data from MAPA indicates approximately 8,200 vehicles per day along West Chandler Road near South 35th Street.
2. Access is proposed at two points along West Chandler Road.

D. UTILITIES:

All utilities are available or will be constructed to serve this development.

E. ANALYSIS:

1. Tim Tran, on behalf of TKC Chandler LLC, has submitted a request to final plat Lots 1 through 38, and Outlot A, Chandler Creek.
2. RD-60 zoning was requested for the development and will take effect upon filing of the final plat.
3. This application was sent out to the following departments/individuals for review: Public Works, Permits and Inspections, Offutt Air Force Base, Sarpy County Planning Director, Sarpy County Public Works Director, and the Omaha School District. The cover letter indicated a deadline to send comments back to the Planning Department, and also stated if the requested department did not have comments pertaining to the application, no response was needed.

Public Works Engineer Matt Knight had minor technical comments pertaining to the plat. The applicant's engineer has since made the necessary revisions.

No other comments were received on this case.

4. The final plat is in conformance with the approved preliminary plat.
5. The Subdivision Agreement has been reviewed by the City Attorney and will be presented to the City Council with the final plat request.

F. TECHNICAL DEFICIENCIES:

None

IV. DEPARTMENT RECOMMENDATION

Approval based upon conformance with the preliminary plat.

V. PLANNING COMMISSION RECOMMENDATION

Under Review.

VI. ATTACHMENTS TO REPORT

1. Vicinity map/Zoning Map
2. GIS aerial photo of the property
3. Final plat received March 14, 2022

VII. COPIES OF REPORT TO:

1. TKC Chandler, LLC
2. Thompson, Dreesen, & Dorner, Inc.
3. Croker, Huck, Kasher, DeWitt, Anderson & Gonderinger
4. Public Upon Request

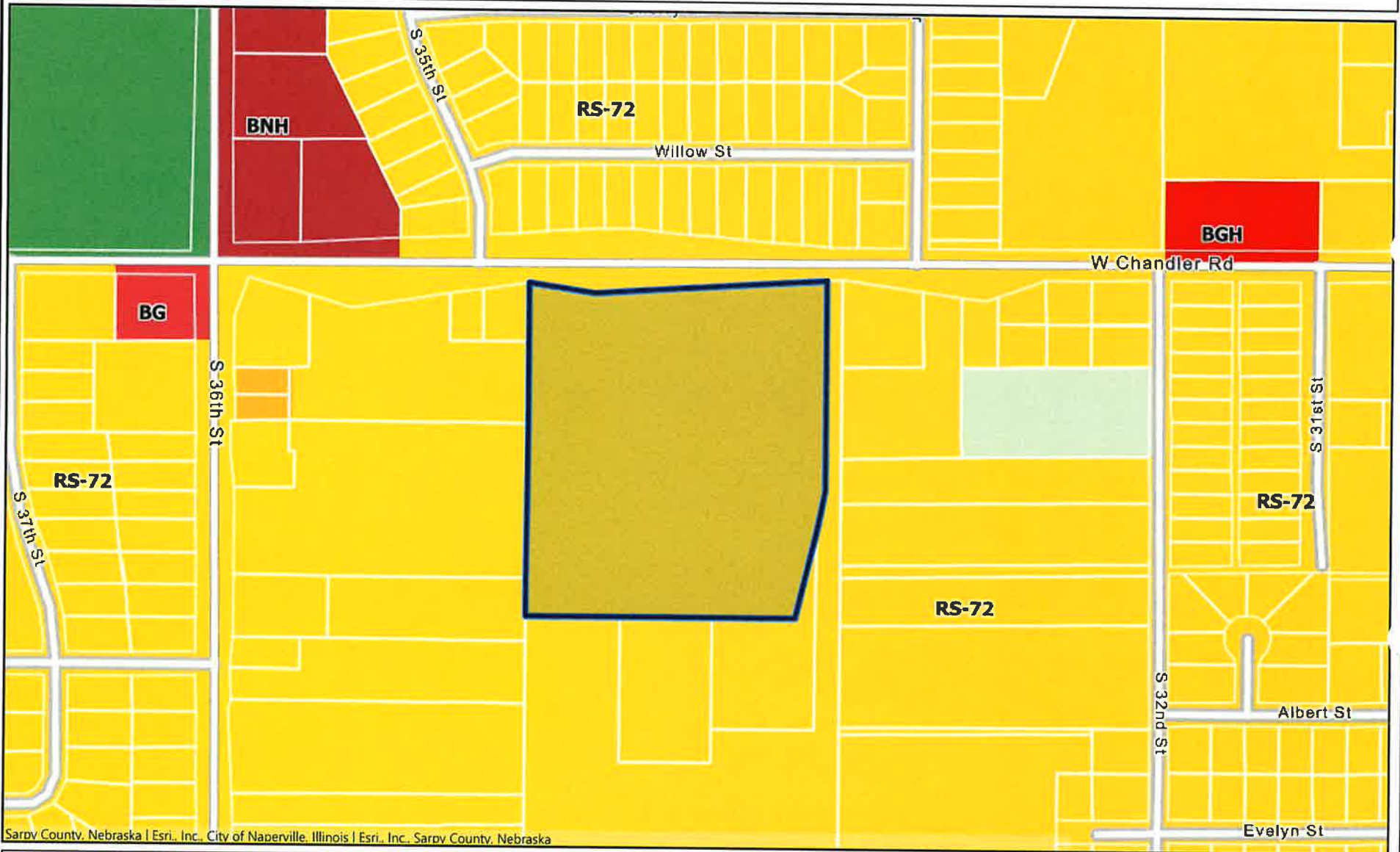

Assistant Planning Manager

 03/15/22
Planning Manager Date of Report



SARPY COUNTY
NEBRASKA

34th Street and W Chandler Rd



Sarpy County, Nebraska | Esri, Inc. | City of Naperville, Illinois | Esri, Inc. | Sarpy County, Nebraska



Map Scale 1: 4514

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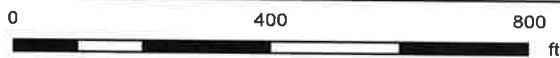


Notes





Esri, Inc., City of Naperville, Illinois; Esri, Inc., Sarpy County, Nebraska



Map Scale 1: 4514

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes



RECEIVED
MAR 14 2022

CHANDLER CREEK

LOTS 1 THROUGH 38 AND OUTLOT "A"

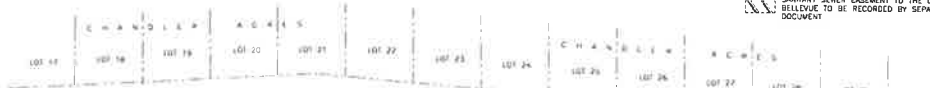
BEING A PLATTING OF PART OF TAX LOT 11 IN THE NW 1/4 OF THE SW 1/4 OF SECTION 16, T14N, R13E OF THE 6th P.M. IN SARPY COUNTY, NEBRASKA

NOTES:

- DIMENSIONS AND ANGLES IN PARENTHESIS PERTAIN TO EASEMENTS
- THERE WILL BE NO DIRECT VEHICULAR ACCESS ONTO WEST CHANDLER ROAD FROM THE NORTH LINE OF LOTS 1, 13, 29 AND 30
- OUTLOT A WILL PROVIDE STREET AND DRAINAGE SERVICE FOR THE DEVELOPMENT AND WILL BE OWNED AND MAINTAINED BY CHANDLER CREEK HOMEOWNERS ASSOCIATION

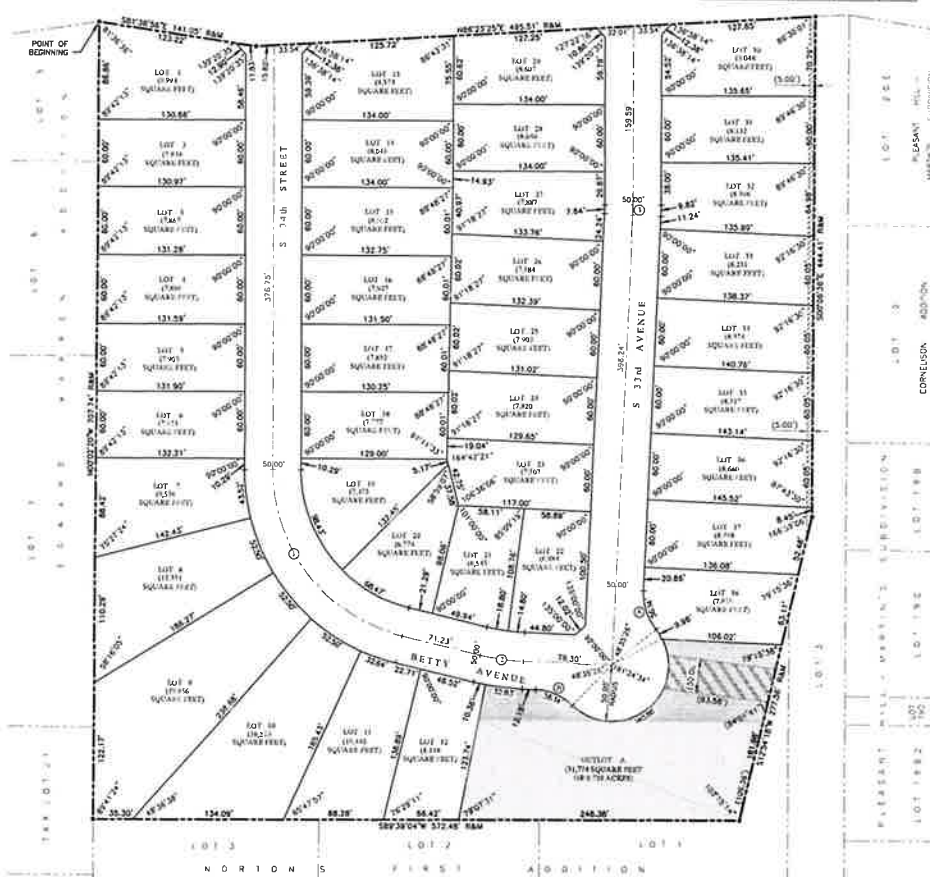
- STORM SEWER AND DRAINAGE EASEMENT TO THE CITY OF BELLEVUE AND CHANDLER CREEK HOME OWNERS ASSOCIATION TO BE RECORDED BY SEPARATE DOCUMENT
- PRIVATE STREET RIGHT-OF-WAY EASEMENT TO BE RECORDED BY SEPARATE DOCUMENT
- SEWAGE TREATMENT PLANT EASEMENT TO THE CITY OF BELLEVUE TO BE RECORDED BY SEPARATE DOCUMENT

- LEGEND**
- CORNERS FOUND (5/8" REBAR)
 - RECORDIO DISTANCE
 - MEASURED DISTANCE



CURVE #	DELTA	LENGTH	TANGENT	RADIUS
1	79.3307°	200.28'	118.23'	180.00'
2	115.0220°	59.40'	18.23'	200.00'
3	82.3020°	81.3'	4.31'	200.00'

CURVE #	DELTA	LENGTH	TANGENT	RADIUS
A	41.2434°	38.14'	18.60'	50.00'
B	41.2434°	38.14'	18.60'	50.00'



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE MADE A BOUNDARY SURVEY OF THE SUBDIVISION DESCRIBED HEREIN AND THAT THE CORNERS THEREON HAVE BEEN FOUND OR SET AT ALL CORNERS OF SAID BOUNDARY AND THAT A BOUNDARY SURVEY OF THE LOT BELONGING TO THE BELLEVUE PLANNING COMMISSION HAS BEEN FOUND OR SET AT ALL CORNERS WITHIN SAID SUBDIVISION TO BE KNOWN AS CHANDLER CREEK. THE SURVEY WAS MADE BY ME OR UNDER MY SUPERVISION AND THE FOLLOWING ARE THE BEARING AND DISTANCE OF THE CORNERS OF SAID BOUNDARY AS SHOWN ON THIS PLAT AND THE BEARING AND DISTANCE OF THE CORNERS OF SAID BOUNDARY AS SHOWN ON THE PLAT AND THE BEARING AND DISTANCE OF THE CORNERS OF SAID BOUNDARY AS SHOWN ON THE PLAT BEGINNING AT THE NE CORNER OF LOT 5, EDWARD WARREN ADDITION, A SUBDIVISION IN SAID SARPY COUNTY:

THENCE S69°35'58"E (ASSUMED BEARING) 141.05 FEET ON THE SOUTH RIGHT-OF-WAY LINE OF CHANDLER ROAD,
 THENCE N82°23'22"E 195.51 FEET ON THE SOUTH RIGHT-OF-WAY LINE OF CHANDLER ROAD TO THE WEST LINE OF NORTON'S FIRST ADDITION, A SUBDIVISION IN SAID SARPY COUNTY,
 THENCE S00°00'36"E 444.41 FEET ON THE WEST LINE OF SAID NORTON'S FIRST ADDITION,
 THENCE S102°54'18"W 277.56 FEET ON THE WEST LINE OF SAID NORTON'S FIRST ADDITION,
 THENCE S89°39'04"W 532.48 FEET ON THE NORTH LINE OF SAID NORTON'S FIRST ADDITION;
 THENCE N00°20'20"W 707.74 FEET ON THE EAST LINE OF EDWARD WARREN ADDITION AND ITS SOUTHERLY EXTENSION TO THE SOUTH RIGHT-OF-WAY LINE OF CHANDLER ROAD AND THE POINT OF BEGINNING,
 CONTAINING 10.0 ACRES MORE OR LESS



MICHAEL J. SMITH
NEBRASKA RLS #555

FEBRUARY 11, 2022
DATE

DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, TNC CHANDLER, LLC, A NEBRASKA LIMITED LIABILITY COMPANY, BEING THE OWNER AND SECURITY NATIONAL BANK OF OMAHA, BEING THE MORTGAGEE HOLDER OF THE LAND DESCRIBED WITHIN THE SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT, HAVE HEREBY GRANTED TO THE CITY OF BELLEVUE, NEBRASKA, THE STREETS AS SHOWN HEREON, AND WE DO FURTHER GRANT A PERPETUAL EASEMENT TO THE CITY OF BELLEVUE, NEBRASKA, AND ANY COMPANY WHICH HAS BEEN GRANTED A FRANCHISE TO PROVIDE A TELECOMMUNICATIONS SYSTEM IN THE AREA TO ANCHORS, CABLES, CONDUITS AND ACCESS TO ELECTRIC, OPERATE, MAINTAIN, REPAIR AND RENEW POLES, WIRES, CROSSARMS, DOWN CABLES AND TO ELECTRIC CURRENT FOR LIGHT, HEAT, AND POWER FOR THE TRANSMISSION OF SIGNALS AND SOUND OF ALL KINDS AND THE RECEIPT THEREOF, INCLUDING SIGNALS PROVIDED BY A CABLE TELEVISION SYSTEM AND THEIR RECEPTION, ON, OVER, THROUGH, UNDER AND ACROSS A FIVE (5) FOOT WIDE STRIP OF LAND ADJUTING ALL FRONT AND SIDE BOUNDARY LOT LINES, AN EIGHT (8) FOOT WIDE STRIP OF LAND ADJUTING THE REAR BOUNDARY LINES OF ALL INTERIOR LOTS, AND A SIXTEEN (16) FOOT WIDE STRIP OF LAND ADJUTING THE REAR BOUNDARY LOT LINES OF ALL EXTERIOR LOTS, THE TERM EXTERIOR LOT IS HEREBY DEFINED AS THOSE LOTS FORMING THE SOUTHER PERIMETER OF THE ABOVE DESCRIBED SUBDIVISION. SAID SIXTEEN (16) FOOT WIDE EASEMENT WILL EASEMENT IS NOT OCCUPIED BY UTILITY FACILITIES AND IF REQUESTED BY THE OWNER

PERPETUAL EASEMENTS SHALL BE GRANTED TO METROPOLITAN UTILITIES DISTRICT OF OMAHA AND ANY NATURAL GAS PRODUCER AND THEIR SUCCESSORS AND ASSIGNS, TO ELECT, INSTALL, OPERATE, MAINTAIN, REPAIR AND RENEW PIPELINES, HYDRANTS, AND OTHER RELATED FACILITIES, AND TO EXTEND THEREON PIPES FOR THE TRANSMISSION OF GAS AND WATER ON, THROUGH, UNDER AND ACROSS A FIVE-FOOT-WIDE STRIP OF LAND ADJUTING ALL CUL-DE-SAC STREETS AND ADJACENT ALL STREET FRONTAGES OF ALL LOTS

NO PERMANENT BUILDINGS, TREES, RETAINING WALLS OR LOOSE ROCK WALLS SHALL BE PLACED IN SAID EASEMENT WAYS, BUT THE SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING, SIDEWALKS, DRIVEWAYS AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE FORESAID USES OR RIGHTS THEREIN GRANTED.

TNC CHANDLER, LLC A NEBRASKA LIMITED LIABILITY COMPANY SECURITY NATIONAL BANK OF OMAHA A NEBRASKA LIMITED LIABILITY COMPANY

BY: JAN CHEN, MEMBER BY: TITLE

ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA)
 COUNTY OF)
 THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2022 BY JAN CHEN, MEMBER OF TNC CHANDLER, LLC, A NEBRASKA LIMITED LIABILITY COMPANY ON BEHALF OF SAID COMPANY.

NOTARY PUBLIC

ACKNOWLEDGEMENT OF NOTARY

STATE OF NEBRASKA)
 COUNTY OF)
 THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2022 BY _____ OF SECURITY NATIONAL BANK OF OMAHA ON BEHALF OF SAID BANK.

NOTARY PUBLIC

SARPY COUNTY TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT I FIND NO REGULAR OR SPECIAL TAXES DUE OR DELINQUENT AGAINST THE PROPERTY DESCRIBED IN THIS SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT AS SHOWN ON THE RECORDS OF THIS OFFICE THIS _____ DAY OF _____, 2022

SARPY COUNTY TREASURER

APPROVAL OF BELLEVUE PLANNING COMMISSION

THIS PLAT OF CHANDLER CREEK WAS APPROVED BY THE BELLEVUE PLANNING COMMISSION ON THIS _____ DAY OF _____, 2022. THIS PLAT BECOMES NULL AND VOID IF NOT RECORDED WITHIN 90 DAYS OF THE ABOVE DATE.

BELLEVUE PLANNING COMMISSIONER

APPROVAL OF BELLEVUE CITY COUNCIL

THIS PLAT OF CHANDLER CREEK WAS APPROVED AND ACCEPTED BY THE BELLEVUE CITY COUNCIL ON THIS _____ DAY OF _____, 2022. APPROVAL OF THIS PLAT BECOMES NULL AND VOID IF NOT RECORDED WITHIN 90 DAYS OF THE ABOVE DATE.

RUSTY HALE, MAYOR SUSAN KILPATRICK, CITY CLERK

REVIEW BY SARPY COUNTY PUBLIC WORKS

THIS PLAT OF CHANDLER CREEK WAS REVIEWED BY THE SARPY COUNTY SURVEYORS OFFICE THIS _____ DAY OF _____, 2022

REAR MINIMUM ZONING REQUIREMENTS	REAR YARD SETBACK
FRONT YARD SETBACK	25 FEET
STREET SIDE YARD SETBACK	15 FEET
SIDE YARD SETBACK	5 FEET
REAR YARD SETBACK	35 FEET

SARPY COUNTY SURVEYOR/ENGINEER



thompson, dressen & dornor, inc.
10836 Old Mill Rd
Omaha, NE 68154
p.402.330.8860 f.402.330.5866
td2co.com

CHANDLER CREEK
LOTS 1 THROUGH 38 AND OUTLOT A



Revision Dates

No.	Description	MM/DD/YY
1		
2		
3		

Job No.: A2263-101A
 Drawn By: RJR/MDK
 Reviewed By: MJS
 Date: FEBRUARY 11, 2022
 Book: 21/22
 Page: 42

CITY OF BELLEVUE
FINAL PLAT

SHEET 1 OF 1

**CITY OF BELLEVUE
PLANNING DEPARTMENT**

RECOMMENDATION REPORT # 1

CASE NUMBERS: Z-2202-02
S-2202-03

FOR HEARING OF:
REPORT #1: March 24, 2022

I. GENERAL INFORMATION

A. APPLICANT:

Cheryl & James Francois
2006 Fairview Road
Bellevue, NE 68123

B. PROPERTY OWNER:

Cheryl & James Francois
2006 Fairview Road
Bellevue, NE 68123

C. GENERAL LOCATION:

2006 Fairview Road

D. LEGAL DESCRIPTION:

Lots 1 and 2, Overlook Addition, being a replat of Tax Lot 10B, located in the Southwest ¼ of Section 10, T13N, R13E of the 6th P.M., Sarpy County, Nebraska.

E. REQUESTED ACTIONS:

1. Rezone Lots 1 and 2 Overlook Addition, from AG to RS-120.
2. Small Subdivision Plat Lots 1 and 2, Overlook Addition

F. EXISTING ZONING AND LAND USE:

AG, Single Family Residential

G. PURPOSE OF REQUEST:

The purpose of this request is to obtain approval of a rezoning and small subdivision plat for the purpose a residential development.

H. SIZE OF SITE:

The site is approximately .76 acres.

II. BACKGROUND INFORMATION

A. EXISTING CONDITION OF SITE:

The site is presently being used residentially.

B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

1. **North:** Single Family Residential, RS-72-PS
2. **East:** Single Family Residential, RS-72-PS
3. **South:** Single Family Residential, RS-72
4. **West:** Single Family Residential, RS-120

C. REVELANT CASE HISTORY:

There have been no recent requests to rezone or replat this property.

D. APPLICABLE REGULATIONS:

1. Section 5.08, Zoning Ordinance, regarding RS-120 uses and requirements.
2. Chapter 5, Subdivision Regulations, regarding Small Subdivisions.

III. ANALYSIS

A. COMPREHENSIVE PLAN:

The Future Land Use Map of the Comprehensive Plan designates this area as Agriculture.

B. OTHER PLANS:

None

C. TRAFFIC AND ACCESS:

1. MAPA traffic data indicates 5,800 vehicles per day along Fairview Road near the intersection of South 25th Street.
2. Access will be shared from the existing drive on Fairview Road. An additional drive will not be allowed.

D. UTILITIES:

All utilities are available or will be constructed to this development.

E. ANALYSIS:

1. Cheryl and James Francois have submitted a request for a small subdivision plat for Lots 1 and 2 Overlook Addition for the purpose of a residential development.
2. The applicant is also requesting a change of zone from AG to RS-120 (Single Family Residential) for both lots. Proposed Lot 1 contains a house and proposed Lot 2 is currently vacant.

The property is presently zoned AG. The current tax lot is non-conforming due to the fact it is less than 20 acres.

The proposed RS-120 zone requires a 10-foot side yard setback. The applicant has indicated a change of zone will match the residential lots adjacent to this property. It will also bring the property into conformance.

The proposed lots meet the minimum requirements of the RS-120 zoning district.

3. This application was sent out to the following departments/individuals for review: Public Works, Permits and Inspections, Chief of Police, Offutt Air Force Base, Fire Inspector, Sarpy County Planning Director, Sarpy County Public Works Department, Sarpy County Deputy Administrator, and the Bellevue Public School District. The cover letter indicated a deadline to send comments back to the Planning Department, and also stated if the requested department did not have comments pertaining to the application, no response was needed.

Michael Sharp, Sarpy County Land Surveyor, and Matt Knight, Public Works Engineer, made comments pertaining to technical revisions to the small subdivision plat. The applicant's engineer has since satisfied these comments.

No other comments were received on this case.

4. With this plat, the applicant is dedicating an additional 50' of right-of-way for Fairview Road.

5. A maintenance agreement regarding the shared access will be filed with the final plat.

F. TECHNICAL DEFICIENCIES:

None

IV. DEPARTMENT RECOMMENDATION

APPROVAL based upon conformance with the Zoning Ordinance and Subdivision Regulations, and lack of perceived negative impact to the surrounding area.

V. PLANNING COMMISSION RECOMMENDATION

Under Review

VI. ATTACHMENTS TO REPORT

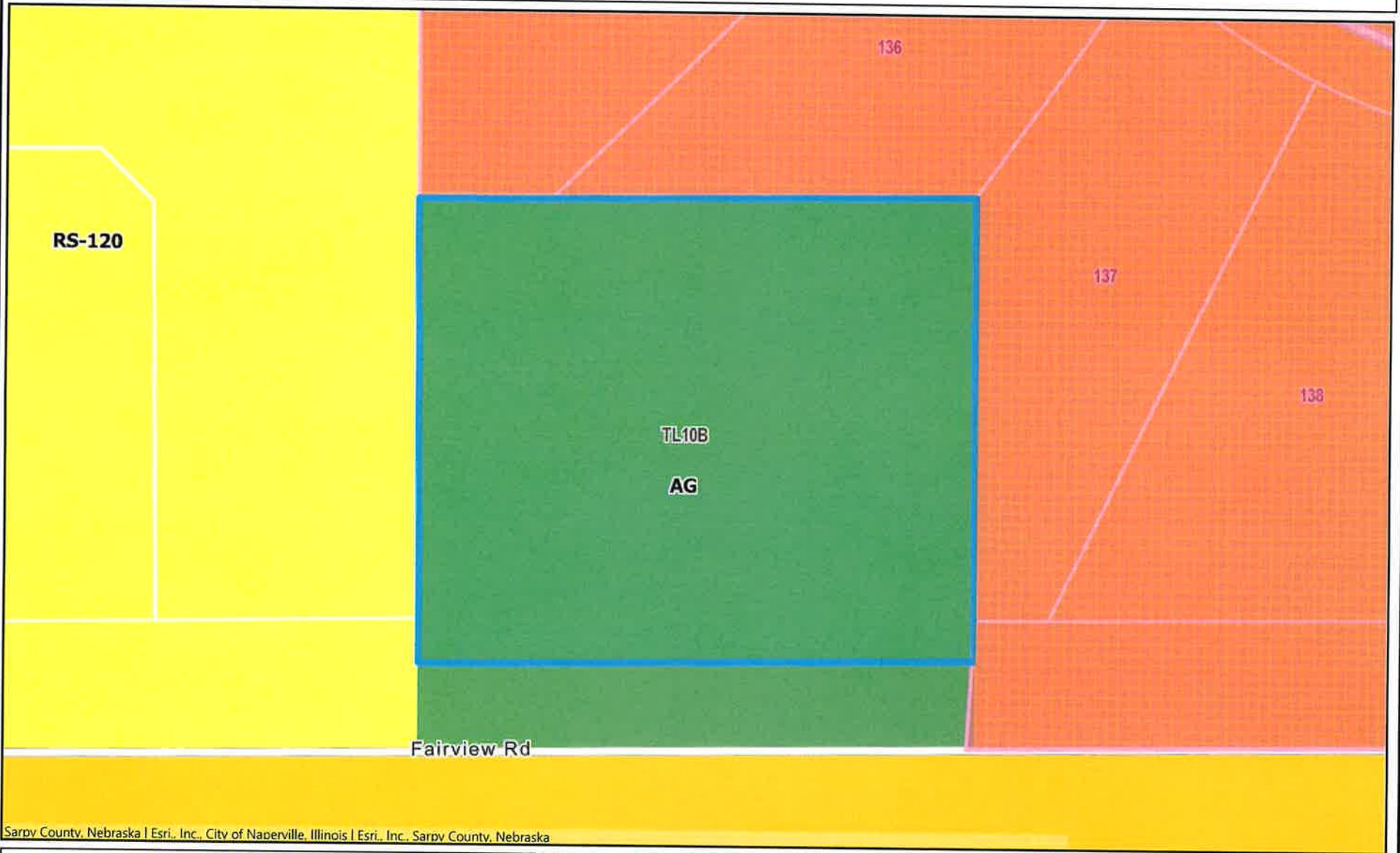
1. Zoning Map
2. 2020 GIS aerial photo of the property
3. Small subdivision plat received March 17, 2022
4. As Built received February 10, 2022
5. Letter from Dennis Whitfield received February 10, 2022

VII. COPIES OF REPORT TO:

1. Cheryl and James Francois
2. DWS Land Surveying (Dennis Whitfield)
3. Public Upon Request


Assistant Planning Manager


Planning Manager 03/17/22
Date



Sarpy County, Nebraska | Esri, Inc. | City of Naperville, Illinois | Esri, Inc. | Sarpy County, Nebraska



Map Scale 1: 796

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Notes





Esri, Inc. City of Naperville, Illinois | Esri, Inc. Sarpy County, Nebraska



Map Scale 1: 796

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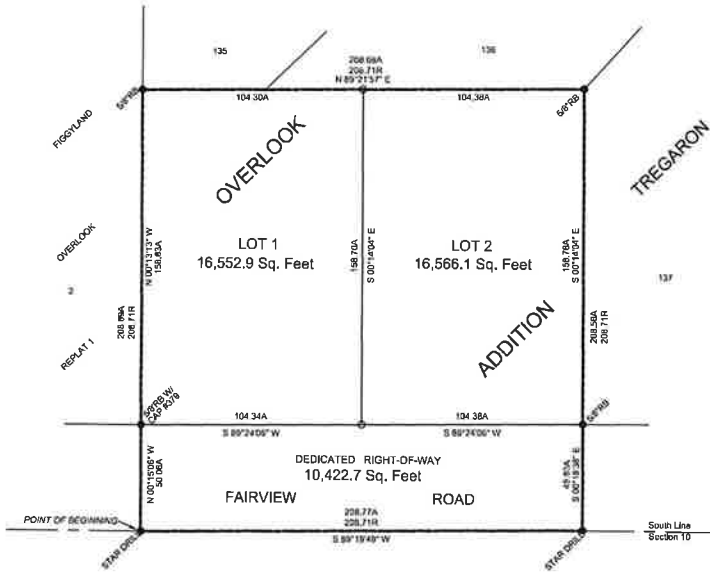
Notes



OVERLOOK ADDITION

LOTS 1 & 2

Being a Platting of TAX LOT 10B,
in the Southwest 1/4 of Section 10,
Township 13 North, Range 13 East
of the 6th P.M., Sarpy County, Nebraska.



LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I have made a boundary survey of the subdivision herein and that permanent monuments have been found or set at all corners of said subdivision to be known as OVERLOOK ADDITION, being a platting of Tax Lot 10B, in the Southwest 1/4 of Section 10, Township 13 North, Range 13 East of the 6th P. M., Sarpy County, Nebraska, more particularly described as follows:

Beginning at the Southwest corner of said Tax Lot 10B; thence North 00°15'06" West (assumed Bearing) along the West line of said Tax Lot 10B a distance of 50.06 feet; thence continuing along said West line North 00°13'13" West a distance of 158.63 feet to the Northwest corner of said Tax Lot 10B; thence North 89°21'57" East along the North line of said Tax Lot 10B a distance of 208.68 feet to the Northeast corner of said Tax Lot 10B; thence South 00°14'04" East along the East line of said Tax Lot 10B a distance of 158.76 feet; thence continuing on said East line South 00°18'38" East a distance of 49.80 feet to the Southeast corner of said Tax Lot 10B; thence South 89°19'49" West along the South line of said Tax Lot 10B a distance of 208.77 feet to point of beginning and containing 1.0 acres more or less.

Dennis L. Whitfield, L.S. 449

Date: 11-12-21

DEDICATION

Know all men by these presents that we, James M Francols, and Cheryl L. Francols, husband and wife, being the owners of the property described within the Surveyor's Certificate and embraced within this Plat, have caused said land to be Replatted as shown, said addition to be hereafter known as "OVERLOOK ADDITION", and we do hereby ratify and approve of the deposition of the property as shown on this plat, and we do hereby dedicate to the public for public use, the street and we do further grant perpetual easements to Omaha Public Power District (OPPD), Cox Communications, and Centurylink across a five (5) foot wide strip of land abutting all front and side boundary lot lines; an eight (8) foot wide strip of land abutting the rear boundary lines of all interior lots; and a sixteen (16) foot wide strip of land abutting the rear boundary lines of all exterior lots. The term exterior lots is herein defined as those lots forming the outer perimeter of the above described addition. The sixteen (16) foot wide easement may be reduced to eight (8) feet wide when the adjacent land is surveyed, platted and recorded. The subdivider shall grant perpetual easements to Metropolitan Utilities District and/or Black Hills Energy, their successors and assigns to erect, install, operate, maintain, repair and renew pipelines, hydrants and other related facilities and to extend thereon pipes for the transmission of gas and water on, through, under and across a five (5) foot wide strip of land abutting all cul-de-sac streets. No permanent buildings or retaining walls shall be placed in said easement ways, but the same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid or rights herein granted.

In witness whereof, we do set our names this ____ day of _____, 2022.

James M Francols _____ Cheryl L Francols _____

ACKNOWLEDGEMENT OF NOTARY

Slate of Nebraska)

) SS

County of _____

On this ____ day of _____, 20____, before me, a Notary Public duly commissioned and qualified in and for said County, appeared

James M Francols and Cheryl L Francols, husband and wife, known by me to be the identical persons whose names are affixed to the Dedication on this Plat, and did acknowledge the execution inherent to be their voluntary act and deed.

My Commission expires _____.

Notary Public _____

COUNTY TREASURER'S CERTIFICATION

This is to certify that I find no regular or special taxes due or delinquent against the property as described in the Surveyor's Certificate and as shown by the records of this office.

Sarpy County Treasurer _____ Date _____

BELLEVUE CITY COUNCIL APPROVAL

This Plat of "OVERLOOK ADDITION" was approved by the City Council of Bellevue on this ____ Day of _____. Approval of this final Plat shall become null and void Ninety (90) days from the date of City Council approval if this Plat is not filed with the Register of Deeds as provided in Section 4-10 of the City of Bellevue Subdivision Regulations.

Mayor _____

Attest _____

APPROVAL OF CITY OF BELLEVUE PLANNING COMMISSION

This Plat of "OVERLOOK ADDITION" was approved by the City of Bellevue Planning Commission.

Chairman of City Planning Commission _____ Date _____

REVIEWED BY SARPY COUNTY PUBLIC WORKS

This Plat of "OVERLOOK ADDITION" was reviewed by the Sarpy County Surveyor's Office.

Sarpy County Engineer / Surveyor _____ Date _____

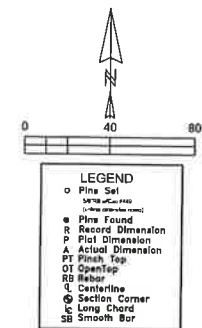
Reserved for Sarpy County Deeds Office

RECEIVED
MAR 17 2022
PLANNING DEPT.

OVERLOOK ADDITION
City of Bellevue - Small Subdivision

DWS
Land Surveying
2915 Sheridan Road, Bellevue, NE 68123

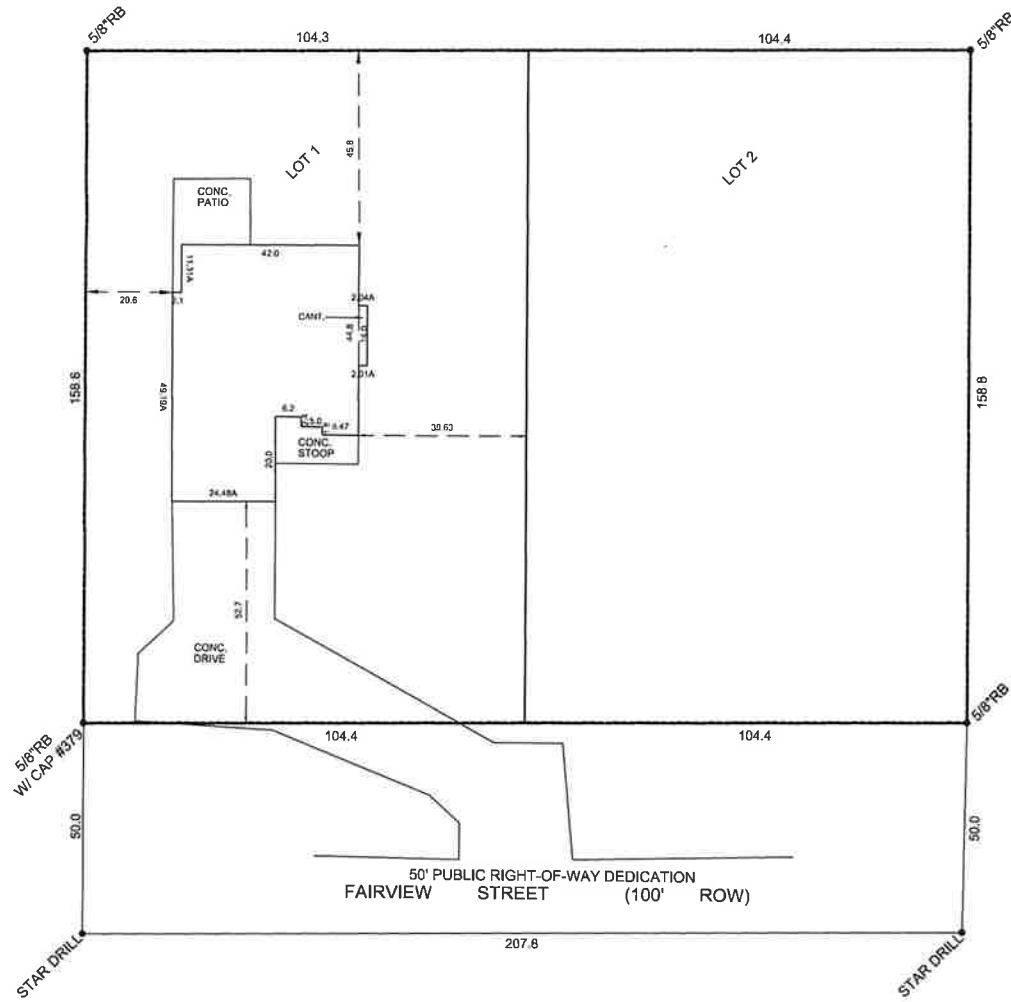
Date: 11-12-21
Project: 125-52C
Sheet: 1 of 1



LEGEND	
o	Pine Nail
o	Record Dimension
o	Plot Dimension
o	Actual Dimension
PT	Pinch Tag
OT	Open Tap
RB	Ribbar
U	Centerline
⊙	Section Corner
⊖	Long Chord
⊕	Smooth Bar

ASBUILT SURVEY

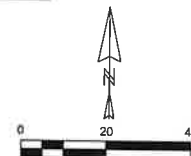
This is a drawing showing the location and dimensions of existing improvements on proposed Lots 1 and 2, OVERLOOK ADDITION, an Addition to the City of Bellevue, as surveyed, platted and recorded in Sarpy County, Nebraska



ZONING
 Current - AG
 Proposed - RS 120

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 Signature of Land Surveyor
 Date: 12-2-21
 Project No. 125-52
 Registration No. L.S. 449
 Name: CHERY AND JAMES FRANCOIS
 Official Address: 2006 FAIRVIEW ROAD



**D
W
S**
 Land Surveying
 Dennis L. Whitfield, PE, LS
 2915 Sheridan Road
 Bellevue, NE 68123
 (402) 292-1221

Land Surveying

2915 Sheridan Road
Bellevue, NE 68123-1993

402-292-1221
dws-services@cox.net



January 24, 2022

Ms. Tammi Palm, Planning Director
City of Bellevue
1510 Wall Street
Bellevue, NE 68005

RE: Proposed "OVERLOOK ADDITION"
Zoning Justification Request

Dear Ms. Palm,

As an attachment to previously filled, "City of Bellevue Rezoning Application" for referenced Plat, the following shall be considered as justification for such;

- Structure on proposed Lot 1 of "OVERLOOK ADDITION" was originally on Tax Lot 10B in the Southwest 1/4 of Section 10, Township 13 North, Range 13 East of the 6th P.M., Sarpy County, Nebraska. Lot area will decrease. To allow for location and usage of existing structure, a rezoning is requested from AG to RS120. Structure now on proposed Lot 1 will conform to 5.08.05 of the Bellevue Zoning Ordinance.
- Proposed Lot 2 of "OVERLOOK ADDITION" is currently undeveloped originally on Tax Lot 10B in the Southwest 1/4 of Section 10, Township 13 North, Range 13 East of the 6th P.M., Sarpy County, Nebraska. To allow for development and conform to surrounding Lots, a rezoning is requested from AG to RS120. Future structure on proposed Lot 2 will be able to conform to 5.08.05 of the Bellevue Zoning Ordinance.

Please advise should additional questions or concerns need to be addressed.

Best Regards,

A handwritten signature in blue ink, appearing to read 'Dennis L. Whitfield'.

Land Surveyor for the Owner,
Dennis L. Whitfield, P.E., L.S.

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**CITY OF BELLEVUE
PLANNING DEPARTMENT**

RECOMMENDATION REPORT # 1

CASE NUMBER: Z-2202-03

FOR HEARING OF:
REPORT #1: March 24, 2022

I. GENERAL INFORMATION

A. APPLICANT:

Jeremiah Winsor
2331 Hogantown Drive
Bellevue, NE 68123

B. PROPERTY OWNERS:

Jeremiah Winsor
2331 Hogantown Drive
Bellevue, NE 68123

C. LOCATION:

304 East La Platte Road

D. LEGAL DESCRIPTION:

Lot 1 Powers Addition, located in the Southeast $\frac{1}{4}$ of Section 23, T13N, R13E of the 6th P.M., Sarpy County, Nebraska.

E. REQUESTED ACTIONS:

1. Rezone Lot 1, Powers Addition, from ML to RE.

F. EXISTING ZONING AND LAND USE:

ML, Vacant/ Former Single Family Residential

G. PURPOSE OF REQUEST:

The purpose of this request is to obtain a rezoning for the purpose of an existing single-family residence. The residence is presently vacant.

H. SIZE OF SITE:

The site is approximately 1.09 acres.

II. BACKGROUND INFORMATION

A. EXISTING CONDITION OF SITE:

The site is presently developed with a partially renovated single family residence, constructed in 1906. The home was damaged in the 2019 floods and has been vacant since that time.

B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

- 1. **North:** ML, Vacant/Agricultural
- 2. **East:** ML, Developed with a 40' x 60' pole barn
- 3. **South:** ML, (PCS Nitrogen Fertilizer property)/Vacant
- 4. **West:** ML, Vacant/Agricultural

C. REVELANT CASE HISTORY:

On April 25, 2013, the Planning Commission recommend denial of a request to rezone Lot 1, Powers 4th Addition, being a replat of Lot 1, Powers Addition, and part of Tax Lot 11, located in the Southeast ¼ of Section 23, T13N, R13E of the 6th P.M., Sarpy County, Nebraska from ML to RE for the purpose of an existing single family residence and accessory structures; and small subdivision plat Lot 1, Powers 4th Addition. Denial based upon the Future Land Use Map of the Comprehensive Plan designating this property for light industrial use. The applicant withdrew the request prior to it moving forward to the City Council.

D. APPLICABLE REGULATIONS:

- 1. Section 5.07, Zoning Ordinance, regarding RE uses and requirements.

III. ANALYSIS

A. COMPREHENSIVE PLAN:

The Future Land Use Map of the Comprehensive Plan designates this property as being light industrial.

B. OTHER PLANS:

None

C. TRAFFIC AND ACCESS:

1. There is no MAPA traffic data available for this area.
2. This property has access via a private driveway from East La Platte Road.

D. UTILITIES:

This property is served by a private well and septic system.

E. ANALYSIS:

1. Jeremiah Winsor has submitted a request to rezone Lot 1, Powers Addition, for the purpose of an existing single family residence.
2. This property is presently zoned ML. The applicant is requesting a change of zone to the RE zoning district to allow him to fix up and utilize the existing single family residence as a permitted use. Mr. Winsor writes the property was used as a single family residence prior to the 2019 floods and the rezoning would bring this property into conformance and allow him to continue its use as a single family residence. Please refer to the applicant's justification letter attached to this report.
3. Section 5.27.04 specifically excludes single family residences in the ML zoning district.
4. The intent of the RE zoning district is to allow low density residential uses on larger parcels of land which are compatible with adjacent urban growth. The minimum lot size is one acre.
5. The current structure and land in combination is considered a non-conforming use. The existing structure has remained vacant and void of improvements for more than twelve (12) consecutive months after the 2019 floods; and therefore, should only be used in conformance with the regulations of the district in which it is located per Section 4.19.
6. This application was sent out for review by the following departments and individuals: Public Works, Permits and Inspections, Chief of Police, Offutt Air Force Base, Fire Inspector, and the Bellevue Public School District. The cover letter indicated a deadline to send comments back to the Planning Department, and also stated if the requested department did not have comments pertaining to the application, no response was needed.

No comments were received on this case.

7. The Future Land Use Map of the Comprehensive Plan shows this area as being light industrial. With construction of the Highway 34 corridor, forthcoming infrastructure, and anticipated development of this area, staff does not believe it is appropriate to rezone this property as Residential Estates, in opposition to the Comprehensive Plan and Future Land Use Map.

F. TECHNICAL DEFICIENCIES:

None

IV. DEPARTMENT RECOMMENDATION

DENIAL based upon the Future Land Use Map of the Comprehensive Plan designating this property for light industrial use.

V. PLANNING COMMISSION RECOMMENDATION

Under Review.

VI. ATTACHMENTS TO REPORT

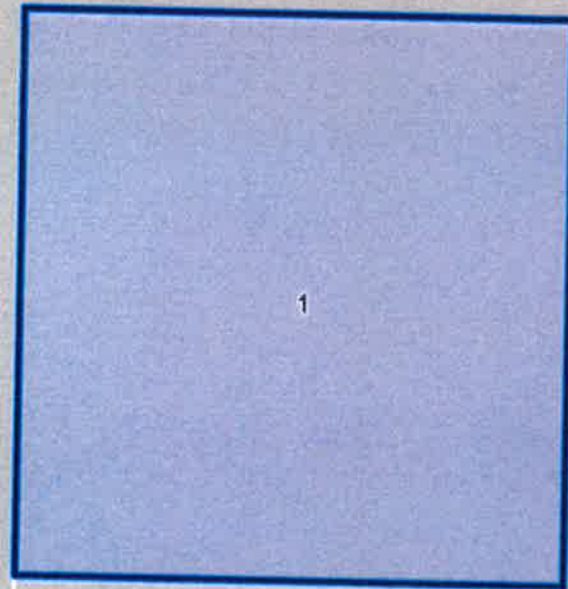
1. Zoning Map
2. 2020 GIS aerial photo of the property
3. Letter from the applicant received February 16, 2022

VII. COPIES OF REPORT TO:

1. Jeremiah Winsor
3. Public Upon Request

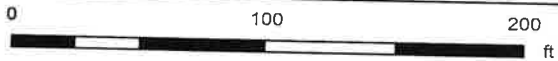

Assistant Planning Manager

 03/16/22
Planning Manager Date of Report



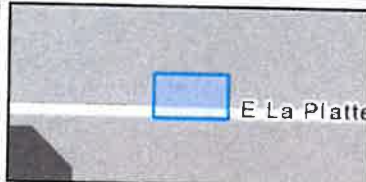
E La Platte Rd

Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska



Map Scale 1: 1128

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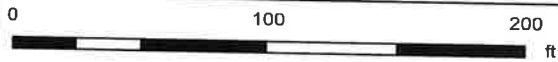
Notes





E La Platte Rd

Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska



Map Scale 1: 1128

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Notes



2-16-22

304 E. LA PLATTE RD.

TO WHOM IT MAY CONCERN. THIS PROPERTY WAS USED AS A SINGLE FAMILY RESIDENCE PRIOR TO THE 2019 FLOODS, I WISH TO CONTINUE TO USE IT AS A SINGLE FAMILY RESIDENCE.

Jeremiah J. Winsor

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3.b.

**CITY OF BELLEVUE
PLANNING DEPARTMENT**

RECOMMENDATION REPORT #1

CASE NUMBER: Z-2202-04

FOR HEARING OF:

REPORT #1: March 24, 2022

I. GENERAL INFORMATION

A. APPLICANT:

MFR Partners XVI, LLC
Attn: Julie Williamson/Michelle Hardy
856 Lake Street East
Wayzata, MN 55391

B. PROPERTY OWNER:

MFR Partners XVI LLC
Attn: Julie Williamson/Michelle Hardy
856 Lake Street East
Wayzata, MN 55391

C. GENERAL LOCATION:

Country Club Court and West Martin Drive

D. LEGAL DESCRIPTION:

Lots 237A1A1, 237C, 237D, 237E, 237F, & 238C, Fontenelle, located in the Southwest ¼ of Section 24, T14N, R13E of the 6th P.M., Sarpy County, Nebraska.

E. REQUESTED ACTIONS:

Site Plan Approval for Lots 237A1A1, 237C, 237D, 237E, 237F, & 238C, Fontenelle.

F. EXISTING ZONING AND LAND USE:

RS-120-PS, Multi-Family Residential

G. PURPOSE OF REQUEST:

The purpose of this request is to obtain site plan approval for the purpose of rebuilding an 11-unit apartment building.

H. SIZE OF SITE:

The site is approximately 18.9 acres.

II. BACKGROUND INFORMATION

A. EXISTING CONDITION OF SITE:

The site is presently developed as a multi-family residential development.

B. GENERAL NEIGHBORHOOD/AREA LAND USES AND ZONING:

1. **North:** Single Family Residential, RS-120-PS and RE
2. **East:** Single Family Residential, RS-120-PS/across West Martin Drive
3. **South:** Single Family Residential, RS-120-PS and RE
4. **West:** Single Family Residential, RS-120 and RS-72-PS

C. REVELANT CASE HISTORY:

There have been no recent requests to rezone or replat this property.

D. APPLICABLE REGULATIONS:

1. Section 5.08, Zoning Ordinance, regarding RS-120 uses and requirements.
2. Section 5.17, Zoning Ordinance, regarding PS uses and requirements.

III. ANALYSIS

A. COMPREHENSIVE PLAN:

The Future Land Use Map of the Comprehensive Plan shows this area as multi-family residential.

B. OTHER PLANS:

None

C. TRAFFIC AND ACCESS:

1. There is no MAPA traffic data available for this location.

2. The proposed development will have access from Tanglewood Court and Country Club Court connecting to West Martin Drive.

D. UTILITIES:

All utilities are available to this property.

E. ANALYSIS:

1. Julie Williamson, on behalf of MFR Partners XVI, LLC, has submitted a request for site plan approval for Lots 237A1A1, 237C, 237D, 237E, 237F, & 238C, Fontenelle, for the purpose of rebuilding an 11-unit apartment building.

2. The proposal consists of 11 units in a three-story apartment building. The proposed building would replace an 11-unit apartment building (Building #24) located on the other parcel of the apartment complex near West Martin and Greenbrier Court, destroyed by fire in March 2021.

3. The April 20, 1967 ordinance which approved the entire 174 (+/-) acre Fontenelle Hills development, allowed for this multi-family residential development in an RS-120 zoning district. The entire development has the same zoning density with provisions on specific parcels to allow for single-family residential, multi-family residential, or recreational permitted uses within the RS-120-PS zoning. As such, the applicant will not need to request a change of zone since it is allowed by the original ordinance. The -PS overlay does require site plan approval.

A copy of the 1968 approved site plan for this parcel is attached. Unfortunately it is difficult to read; however, this is the only copy the Planning Department has on file.

4. The proposed site plan shows the new building will be relocated along West Martin Drive between Tanglewood Court and Country Club Court and in place of the existing vacant sales office. Due to steep hill slopes on the original site of Building #24, the applicant would not meet 5% grade or ADA Egress Guidelines. This new location meets the 5% grade and ADA egress guidelines.

5. Tanglewood Court and Country Club Court are private streets maintained by the apartment complex. There is an existing ingress-egress easement recorded for these streets.

6. The site plan shows twenty-two total parking stalls. Two of the twenty-two are ADA accessible. The ordinance requires a minimum of twenty-two parking stalls.

7. This application was sent out to the following departments for review: Public Works, Permits and Inspections, Chief of Police, Offutt Air Force Base, Fire

Inspector, and the Bellevue Public School District. The cover letter indicated a deadline to send comments back to the Planning Department, and also stated if the requested department did not have comments pertaining to the application, no response was needed.

Matt Knight, Public Works Engineer, had technical comments pertaining to the site plan. The applicant's engineer has addressed Mr. Knight's concerns.

No other comments were received on this case.

8. The applicant has submitted a landscape plan with this application. In addition to trees adjacent to the building, the applicant is proposing a 150' long boxwood hedge along the east side of the parking area to minimize the impact to adjacent single family residential housing across Martin Drive.

9. The Future Land Use Map of the Comprehensive Plan designates this property as multi-family residential.

F. TECHNICAL DEFICIENCIES:

None

IV. DEPARTMENT RECOMMENDATION

APPROVAL based upon conformance with the Zoning Ordinance and the Comprehensive Plan.

V. PLANNING COMMISSION RECOMMENDATION

Under Review

VI. ATTACHMENTS TO REPORT

1. Zoning/Vicinity Map
2. 2020 GIS aerial photo of the property
3. Original multi family site plan dated 1968
4. Site plan received March 16, 2022
5. Landscape plan received March 16, 2022
6. Alta survey received February 18, 2022
7. Rendering received March 16, 2022
8. Proposed floor plans received March 16, 2022
9. Proposed elevations received March 16, 2022

VII. COPIES OF REPORT TO:

1. MFR Partners XVI, LLC, Julie Williamson/Michelle Hardy
2. Atlas Engineering, Thomas Jizba
3. David Levy
4. Public Upon Request


Assistant Planning Manager

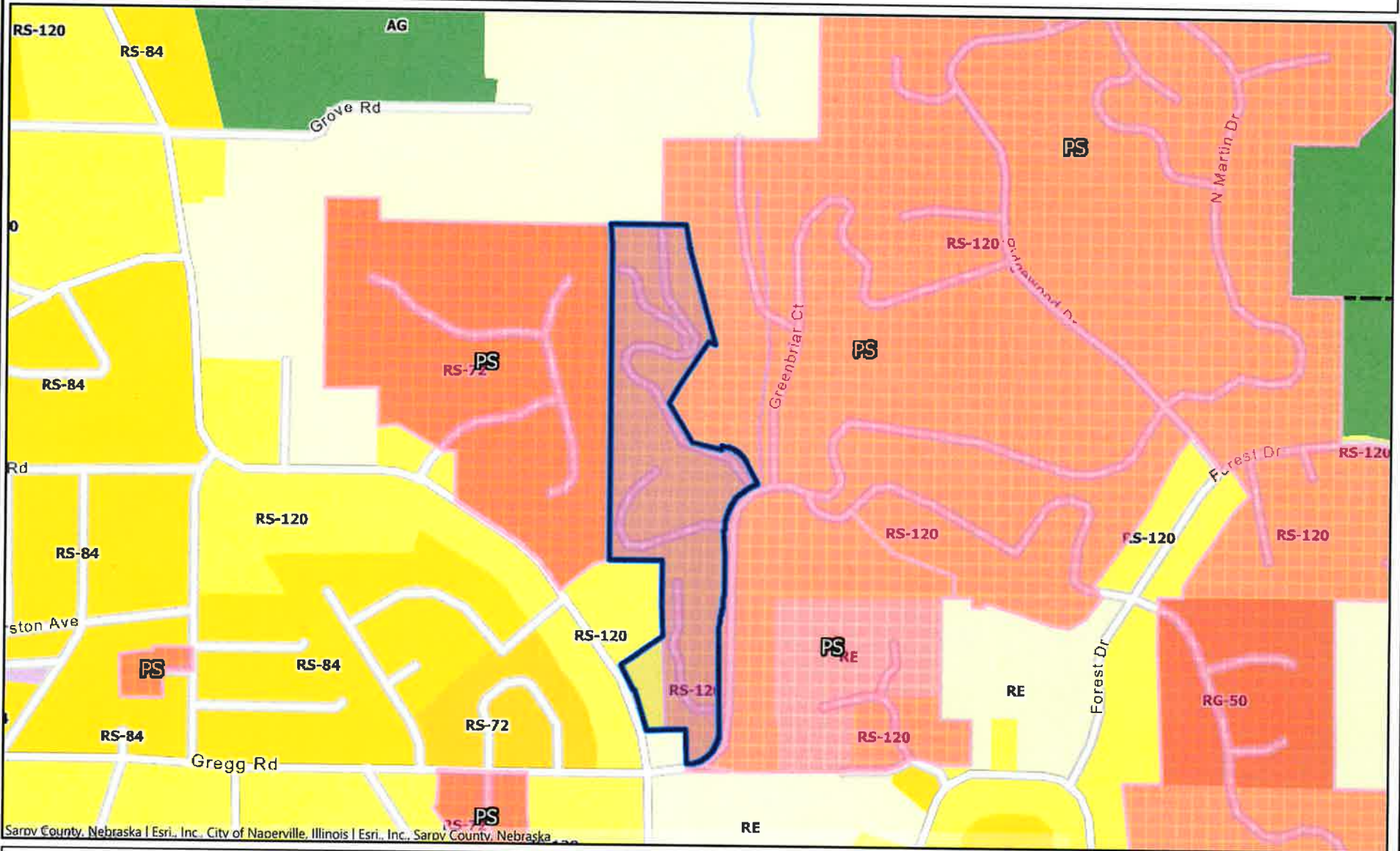

Planning Manager


Date of Report



SARPY COUNTY
NEBRASKA

Lots 237A1A1, 237C, 237D, 237E, 237F & 238 C, Fontenelle

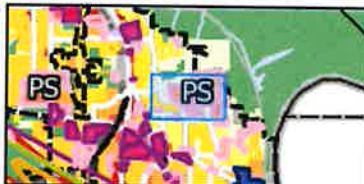


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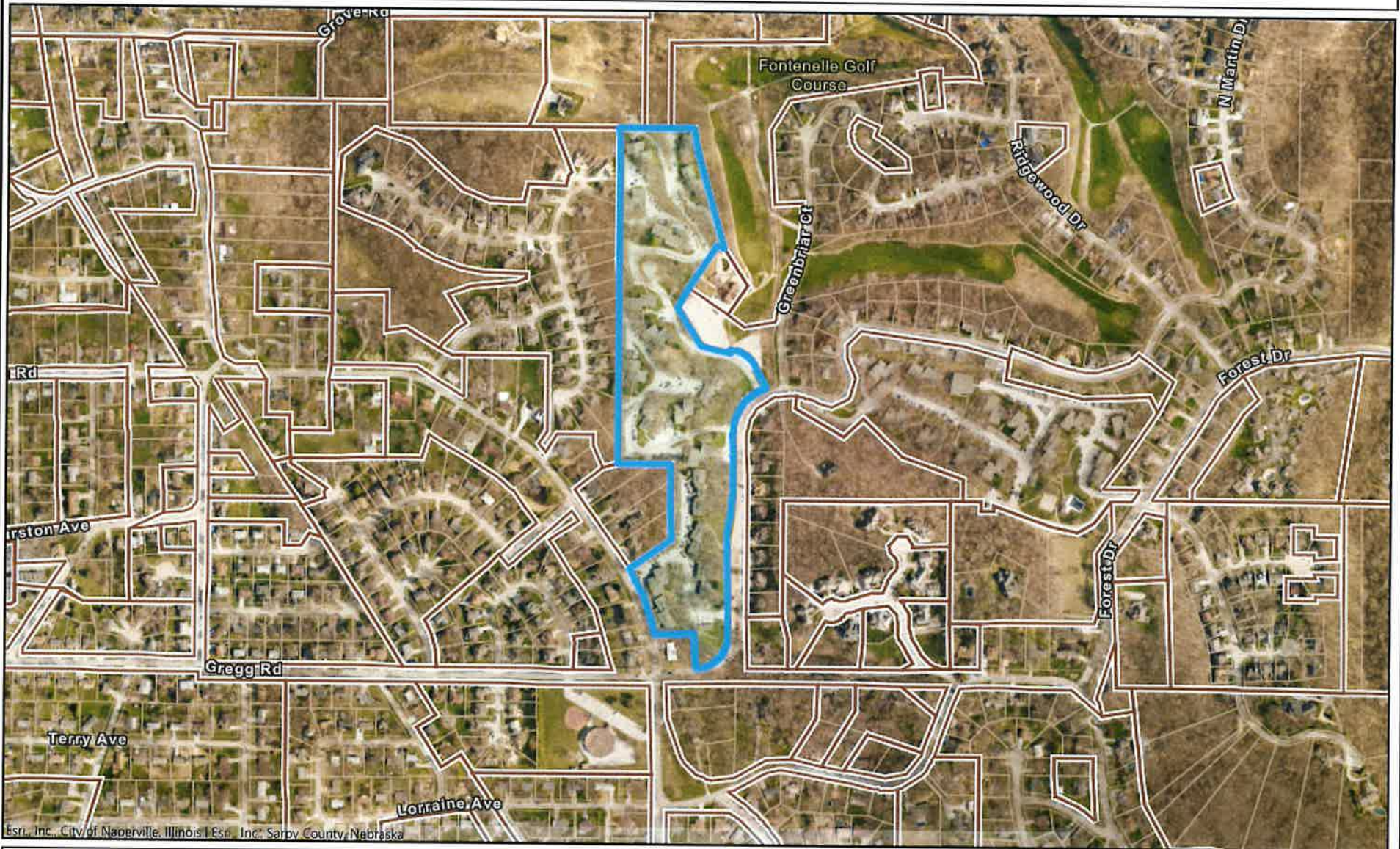
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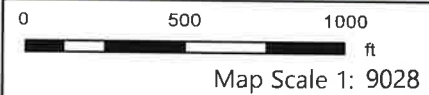


Notes





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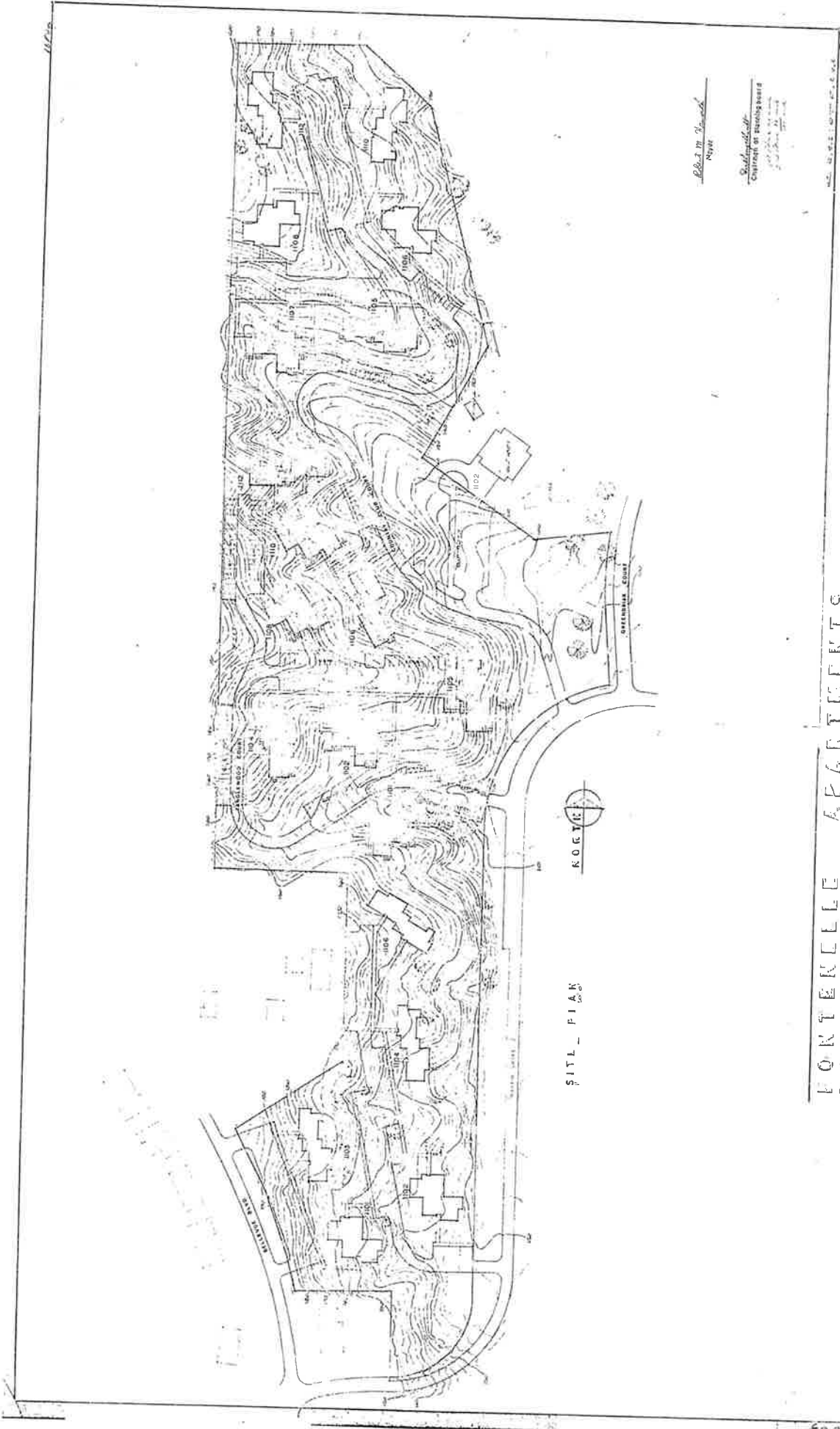


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Notes





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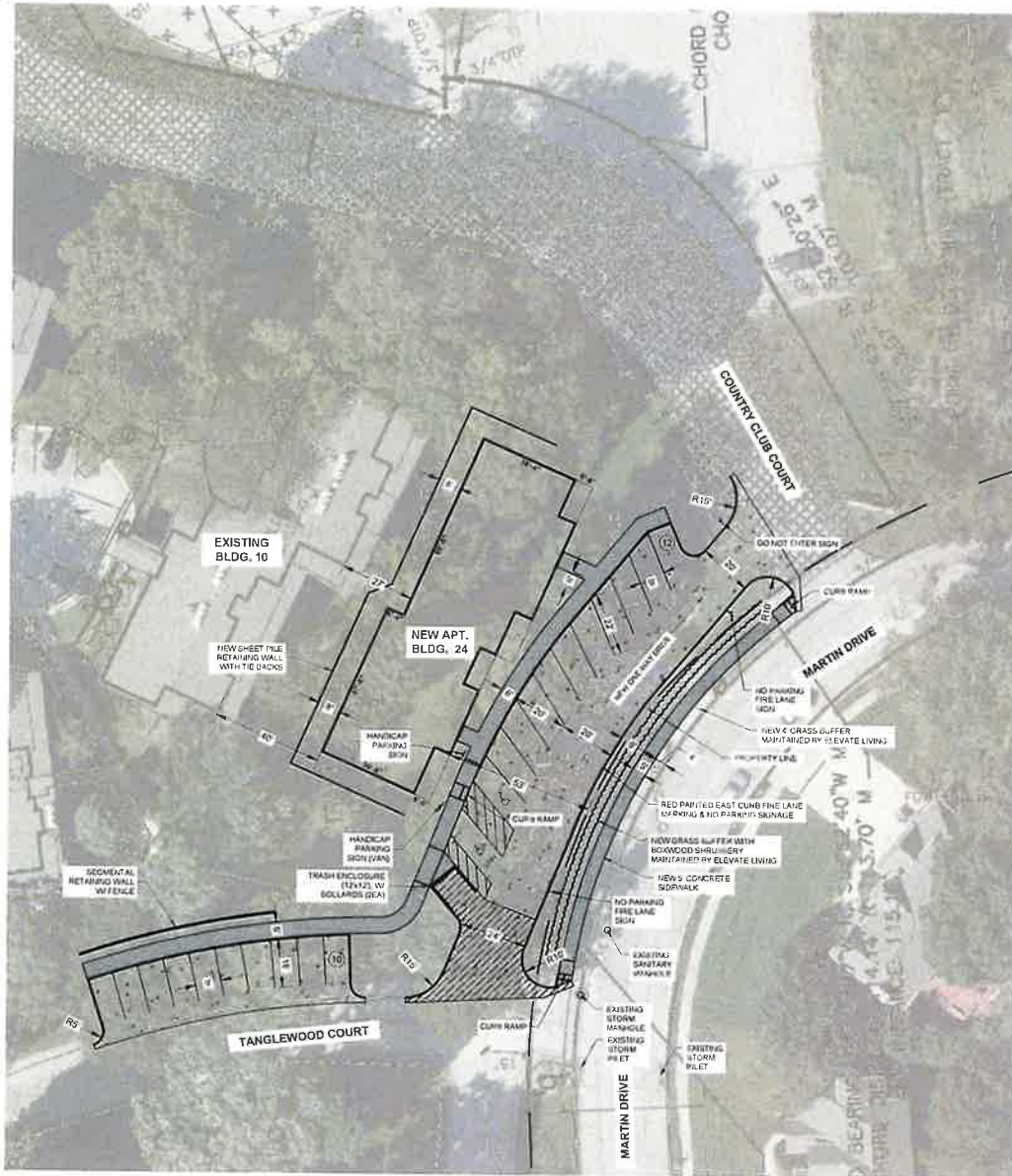
Robert H. Smith
 Copyright © 1935
 Boyle and Wilson
 ARCHITECTS
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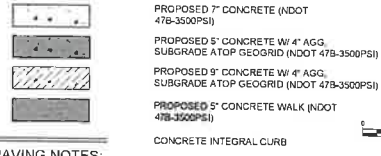
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MAR 16 2022

PLANNING DEPT.



SITE LAYOUT LEGEND



PAVING NOTES:

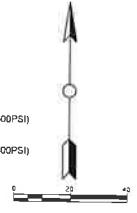
1. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. PAVEMENT SUBGRADE TO A DEPTH OF 12 INCHES AND A WIDTH OF 2 FEET OUTSIDE PAVEMENT EDGES SHALL BE COMPACTED AS SPECIFIED IN THE COMPACTION REQUIREMENTS TABLE OR GEOTECHNICAL REPORT.
3. THE CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER TO OBSERVE THE SUBGRADE PRIOR TO PAVEMENT PLACEMENT TO DELINEATE ANY AREAS WHERE SUBGRADE OVEREXCAVATION MAY BE REQUIRED.
4. SUBGRADE SHALL BE MOIST PRIOR TO THE POURING OF CONCRETE.
5. AT THE LOCATION OF WHEELCHAIR RAMPS, CONTRACTOR SHALL DROP THE CURB IN ACCORDANCE WITH CITY OF OMAHA STANDARD PLATE 500-01.
6. THE CONTRACTOR IS REFERENCED TO THE FOLLOWING CITY OF OMAHA STANDARD PLATES:
501-01 CONCRETE PAVEMENT JOINTS
502-01 CONCRETE CURBS
605-01 SEPARATED RETAINING WALL (NOTE: GEOGRID REINFORCEMENT TO BE INSTALLED EVERY OTHER BLOCK COURSE.)
605-01 PCC STAIRS
7. CONCRETE MIX SHALL BE TYPE 478 TRADITIONAL MIX PER NDOT STANDARD SPECIFICATIONS. CEMENT SHALL BE TYPE I/F. CONCRETE MIX DESIGN SHALL HAVE A MINIMUM OF 30% TYPE II AGGREGATE AND AIR CONTENT SHALL BE BETWEEN 6% AND 8.5%. MAX W/RT ENRICHMENT RATIO SHALL BE 645. ALL CONCRETE PAVEMENT SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI WHICH TESTED IN ACCORDANCE WITH ASTM C671 AT 28 DAYS. CONTRACTOR SHALL HAVE FIELD TESTS CONDUCTED AND 3 CONCRETE CHUNDERS COLLECTED BY A QUALIFIED TESTING LAB FOR EVERY 100 CURB VARDS OR FOR EACH DAYS POUR, UNLESS APPROVED OTHERWISE BY OWNER. CONTRACTOR SHALL PROVIDE CONCRETE FIELD AND COMPRESSIVE TEST RESULTS TO THE OWNER.
8. CURBS SHALL BE TYPE 'A' IN ACCORDANCE WITH CITY OF OMAHA STANDARD PLATE 502-01 UNLESS OTHERWISE NOTED.
9. CONCRETE PAVEMENT SHALL BE CURED USING A LIQUID MEMBRANE FORMING COMPOUND AT THE CONCENTRATIONS AND APPLICATION RATES RECOMMENDED BY THE MANUFACTURER.
10. WATER REDUCING ADMIXTURE SHALL BE ADDED TO ALL HAND PLACED AND FINISHED CONCRETE.
11. ALL CONCRETE SHALL BE FINISHED WITH A WET BURLAP OR CANVAS DRAG.
12. CONCRETE PAVEMENT JOINTS SHALL NOT EXCEED 13' 6". ALL PANELS SHOULD BE SQUARE OR NEARLY SO. THE LENGTH OF THE PANEL SHALL NOT EXCEED 13 TIMES THE WIDTH.
13. WHERE APPLICABLE, JOINTS SHALL MATCH EXISTING JOINT PATTERN.
14. ALL JOINTS SHALL BE SAWCUT AND SEALED WITH HOT POUR SEALANT TO WITHIN 1/4" OF CONCRETE SURFACE.
15. CONTRACTOR TO PLACE 2" EXPANSION MATERIAL WHERE CONCRETE ADJUTS BUILDING.
16. TIE BARS SHALL BE UTILIZED AT ALL LOCATIONS WHERE PROPOSED CONCRETE IS TYING INTO EXISTING CONCRETE. TIE BARS SHALL BE #3 AT 18" IN LENGTH AND PLACED AT 33" OC AT 1/2" DEPTH OF THE SLAB.
17. ALL REBAR SHALL BE EPOXY COATED.
18. EXPANSION JOINT SHALL BE INSTALLED WHERE DRIVEWAYS AND/OR SIDEWALKS ABUT, AND SEALED WITH HOT POUR SEALANT.

PAVEMENT MARKING NOTES:

1. PAVEMENT MARKINGS SHALL BE 4" WHITE PERMANENT PAVEMENT MARKING PAINT, APPLY PER MANUFACTURERS RECOMMENDATIONS.
2. PERMANENT PAVEMENT MARKING PAINT SHALL BE IN ACCORDANCE WITH CITY OF OMAHA STD. SPECIFICATION SECTION 500-020A OR APPROVED EQUIVALENT.
3. HANDICAP MARKINGS SHALL BE PER MUTCD STANDARDS.

SIDEWALK NOTES:

1. SIDEWALK SUBGRADE TO A DEPTH OF 8 INCHES AND TO A WIDTH OF 6 INCHES OUTSIDE OF THE SIDEWALK EDGES SHALL BE COMPACTED AS SPECIFIED IN THE COMPACTION REQUIREMENTS TABLE OR THE GEOTECHNICAL REPORT.
2. THE CONTRACTOR IS REFERENCED TO THE FOLLOWING CITY OF OMAHA STANDARD PLATES:
503-01 SIDEWALK
504-01 CONCRETE CURB RAMP
3. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH 1.5% MAX CROSS SLOPE AND 4.5% MAX RUNNING SLOPE, UNLESS PARALLELING AND MATCHING EXISTING STREET GRADE.
4. SIDEWALK JOINT SHALL BE SQUARE NO LARGER THAN 7'X7' PANELS.
5. CONCRETE PAVEMENT SHALL BE CURED USING A LIQUID MEMBRANE FORMING COMPOUND AT THE CONCENTRATIONS AND APPLICATION RATES RECOMMENDED BY THE MANUFACTURER.
6. WATER REDUCING ADMIXTURE SHALL BE ADDED TO ALL HAND PLACED AND FINISHED CONCRETE.
7. WHERE SHOWN ON PLANS CURB RAMPS SHALL INCLUDE CAST IRON REPLACEABLE DETECTABLE WARNING PANELS (FRUNCATED DOMES) WHICH COMPLY WITH THE AMERICANS WITH DISABILITIES ACT. APPROVED TYPES ARE:
IRON DOME: BY ADA SOLUTIONS INC.
DETECTABLE WARNING PLATE 488 BY DEETTER FOUNDRY INC.
DURA LAST DETECTABLE MARKING PLATE BY EAST-JORDAN IRON WORKS
TUFTLE CAST IRON TILES BY TUFTLE INC.
ADVANTAGE TACTILE CAST IRON DETECTABLE MARKINGS
8. DETECTABLE WARNING PANELS SHALL BE "BRICK" COLOR OR APPROVED EQUAL.
9. SIDEWALK AROUND EXISTING SANITARY MANHOLE SHALL BE THICKENED TO 8" AND REINFORCED WITH #4 EPOXY COATED REBAR. SEE DETAIL 1 ON SHEET C100.



General Notes

GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF OMAHA STANDARD SPECIFICATIONS, LATEST EDITION UNLESS NOTED OTHERWISE ON PLAN.
2. MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ELEMENTS SHOWN ON THE UWL PLANS ARE FOR INFORMATION ONLY. REFER TO THE APPROPRIATE DISCIPLINE DRAWINGS FOR DETAILS ON THESE ITEMS.
3. ALL EXISTING UTILITIES FROM CONSTRUCTION OPERATIONS SHALL BE MAILED OFF-SITE AND DISPOSED OF PROPERLY AT THE CONTRACTORS EXPENSE.
4. THE CONTRACTOR SHALL PAY ALL PERMIT AND OTHER ASSOCIATED FEES AND COSTS REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ELEVATIONS AND INVERTS PRIOR TO ANY CONSTRUCTION AND IF EITHER VARY SIGNIFICANTLY FROM THOSE SHOWN, CONTACT THE ENGINEER IMMEDIATELY.
6. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY RELOCATION OF EXISTING UTILITIES.
7. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A CONSTRUCTION RECORD SET OF DRAWINGS SHOWING TIES AND DEPTHS OF ALL STUDBOYS, BENDS AND FITTINGS.

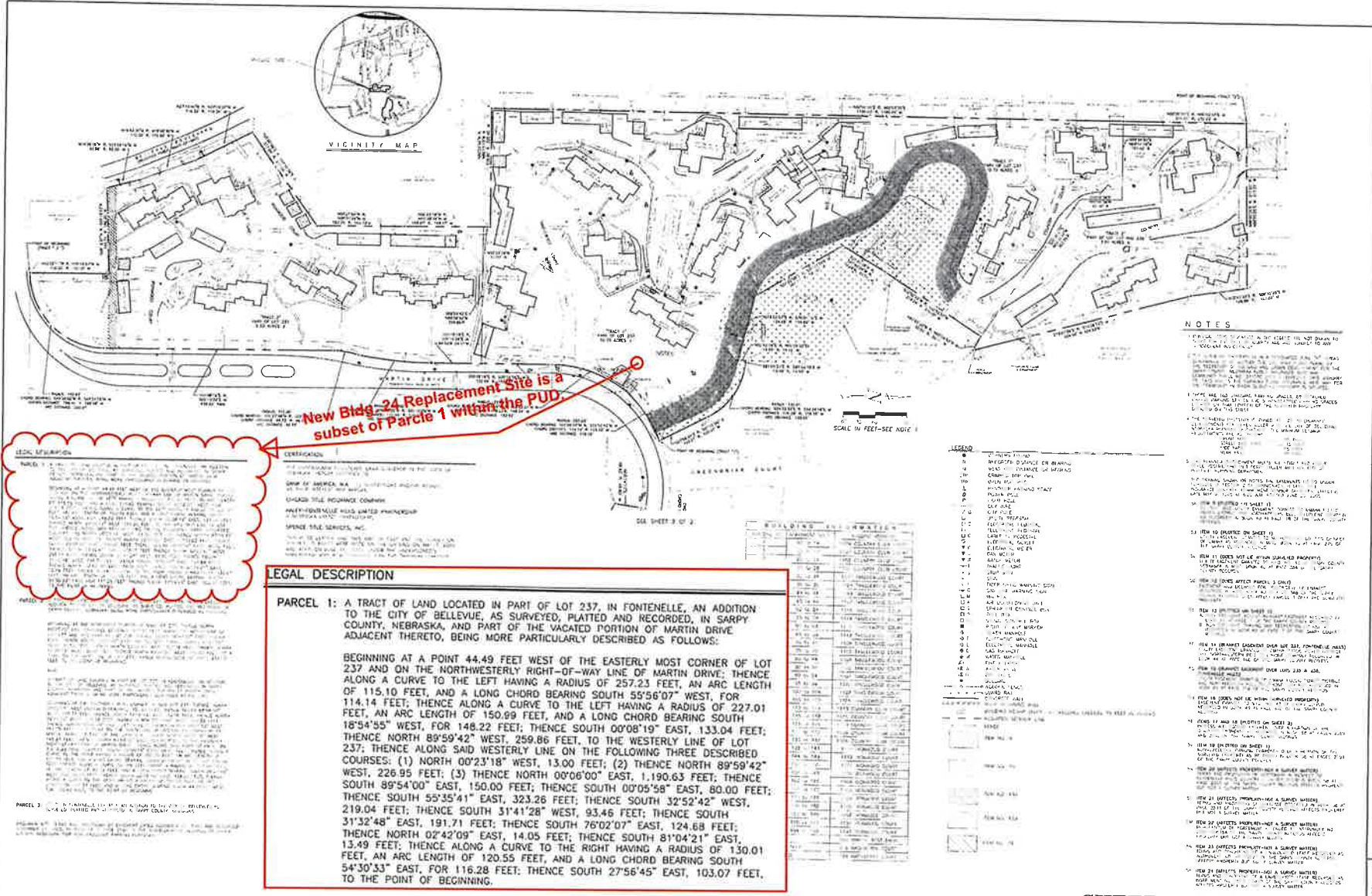
REMOVAL NOTES:

5. NO TREES SHALL BE REMOVED WITHOUT APPROVAL OF THE ENGINEER. TREES SHALL BE REMOVED ONLY WHERE THEY INTERFERE WITH CONSTRUCTION OF THE PROJECT.
4. PAVEMENT REMOVAL ALONG PAVEMENT THAT IS TO REMAIN SHALL BE SAW CUT FULL DEPTH SAW CUTTING SHALL BE CONSIDERED SUBGRADE.
3. CONTRACTOR IS RESPONSIBLE FOR LAWFUL REMOVAL & DISPOSAL OF ALL ITEMS.
0. CONTRACTOR SHALL FIELD VERIFY EXISTING WATER AND SANITARY SERVICE LOCATIONS.

No.	Revision/Change	Date

Project Name and Location:
**REPLACEMENT APARTMENT BUILDING 24
FONTENELLE HILLS
BELLEVUE, NEBRASKA
ELEVATE LIVING MGMT., LLC**

Sheet Name: NEW SITE PLAN	Sheet: C100
Date: 3/16/2022	Scale: 1" = 20'



NOTES

1. THE SURVEY IS BASED ON THE DATA PROVIDED BY THE CLIENT AND THE SURVEYOR HAS NOT CONDUCTED A VISUAL INSPECTION OF THE PROPERTY.
2. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
3. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
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5. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
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7. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
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9. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.
10. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND THE DATA TO BE REASONABLY ACCURATE.

LEGAL DESCRIPTION

PARCEL 1: A TRACT OF LAND LOCATED IN PART OF LOT 237, IN FONTENELLE, AN ADDITION TO THE CITY OF BELLEVUE, AS SURVEYED, PLATTED AND RECORDED, IN SARPY COUNTY, NEBRASKA, AND PART OF THE VACATED PORTION OF MARTIN DRIVE ADJACENT THERETO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 44.49 FEET WEST OF THE EASTERLY MOST CORNER OF LOT 237 AND ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF MARTIN DRIVE; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 257.23 FEET, AN ARC LENGTH OF 115.10 FEET, AND A LONG CHORD BEARING SOUTH 55°56'07" WEST, FOR 114.14 FEET; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 227.01 FEET, AN ARC LENGTH OF 150.99 FEET, AND A LONG CHORD BEARING SOUTH 18°54'55" WEST, FOR 148.22 FEET; THENCE SOUTH 00°06'19" EAST, 133.04 FEET; THENCE NORTH 89°59'42" WEST, 259.86 FEET, TO THE WESTERLY LINE OF LOT 237; THENCE ALONG SAID WESTERLY LINE ON THE FOLLOWING THREE DESCRIBED COURSES: (1) NORTH 00°23'18" WEST, 13.00 FEET; (2) THENCE NORTH 89°59'42" WEST, 226.95 FEET; (3) THENCE NORTH 00°06'00" EAST, 1,190.63 FEET; THENCE SOUTH 89°54'00" EAST, 150.00 FEET; THENCE SOUTH 00°05'58" EAST, 80.00 FEET; THENCE SOUTH 55°35'41" EAST, 323.26 FEET; THENCE SOUTH 32°52'42" WEST, 219.04 FEET; THENCE SOUTH 31°41'28" WEST, 93.46 FEET; THENCE SOUTH 31°32'48" EAST, 191.71 FEET; THENCE SOUTH 76°02'07" EAST, 124.68 FEET; THENCE NORTH 02°42'09" EAST, 14.05 FEET; THENCE SOUTH 81°04'21" EAST, 13.49 FEET; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 130.01 FEET, AN ARC LENGTH OF 120.55 FEET, AND A LONG CHORD BEARING SOUTH 54°30'33" EAST, FOR 116.28 FEET; THENCE SOUTH 27°56'45" EAST, 103.07 FEET, TO THE POINT OF BEGINNING.

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LEGEND

1	EXISTING BUILDING
2	EXISTING DRIVE
3	EXISTING UTILITY
4	EXISTING FENCE
5	EXISTING CURB
6	EXISTING SIDEWALK
7	EXISTING DRIVE
8	EXISTING DRIVE
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98	EXISTING DRIVE
99	EXISTING DRIVE
100	EXISTING DRIVE

1" = 40'

DATE: MARCH 11, 2021

BY: JRM

PROJECT: ALTA/ASCM LAND TITLE SURVEY

CLIENT: DIAL EQUITIES, INC.

2 THOMPSON DRESSBACH & DORNER, INC.
 Consulting Engineers & Land Surveyors
 1886 OLD MILL ROAD, OMAHA, NEBRASKA 68164
 PHONE: (402) 333-0000 FAX: (402) 333-0000
 EMAIL: TD@TDCO.COM WEB: WWW.TDCO.COM

200-334-131

102 REFERENCE NO. 200-287-61
 BOOK 01/11 PAGES 6 THRU 11

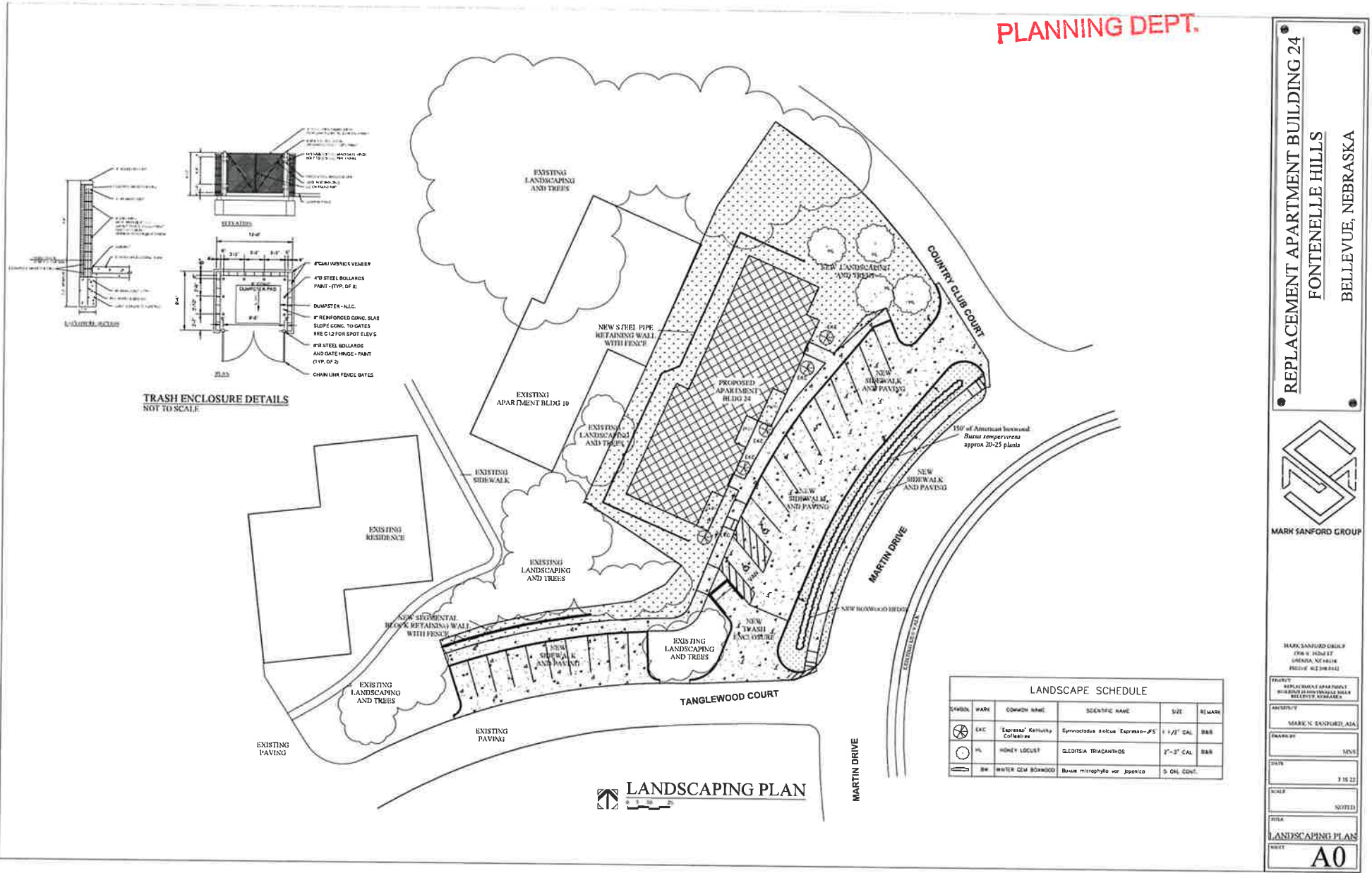
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 FEB 18 2022
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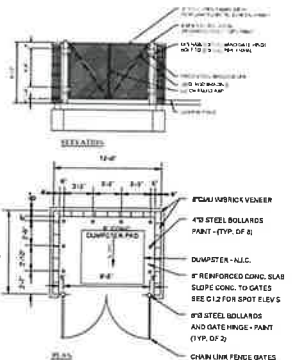
RECEIVED

MAR 16 2022

PLANNING DEPT.



TRASH ENCLOSURE DETAILS
NOT TO SCALE



LANDSCAPE SCHEDULE					
SYMBOL	MARK	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARK
⊗	EXC	Espresso® Kentucky Coffee tree	<i>Gymnocodiva dioica</i> Espresso-JFS	1 1/2\"/>	

REPLACEMENT APARTMENT BUILDING 24
FONTENELLE HILLS
BELLEVUE, NEBRASKA

MARK SANFORD GROUP

MARK SANFORD GROUP
 1700 N. HENRY
 LINCOLN, NE 68516
 PHONE: 402.398.0442

PROJECT: REPLACEMENT APARTMENT BUILDING 24 AT FONTENELLE HILLS - BELLEVUE, NEBRASKA

ARCHITECT: MARK SANFORD GROUP

DRAWN BY: JENNY

DATE: 3.16.22

SCALE: NOTED

TITLE: LANDSCAPING PLANS

SHEET: **A0**

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MAR 16 2022
PLANNING DEPT.



*** 3/16/2022 Submittal Note: The placement of the New Boxwood Hedge and 5-ft. wide Sidewalk Paving does not allow for the planting of New Trees between the New Driveway and Martin Drive. The Rendering will be updated with the Building Permit Submittal.

REPLACEMENT APARTMENT BUILDING 24
FONTENELLE HILLS
BELLEVUE, NEBRASKA



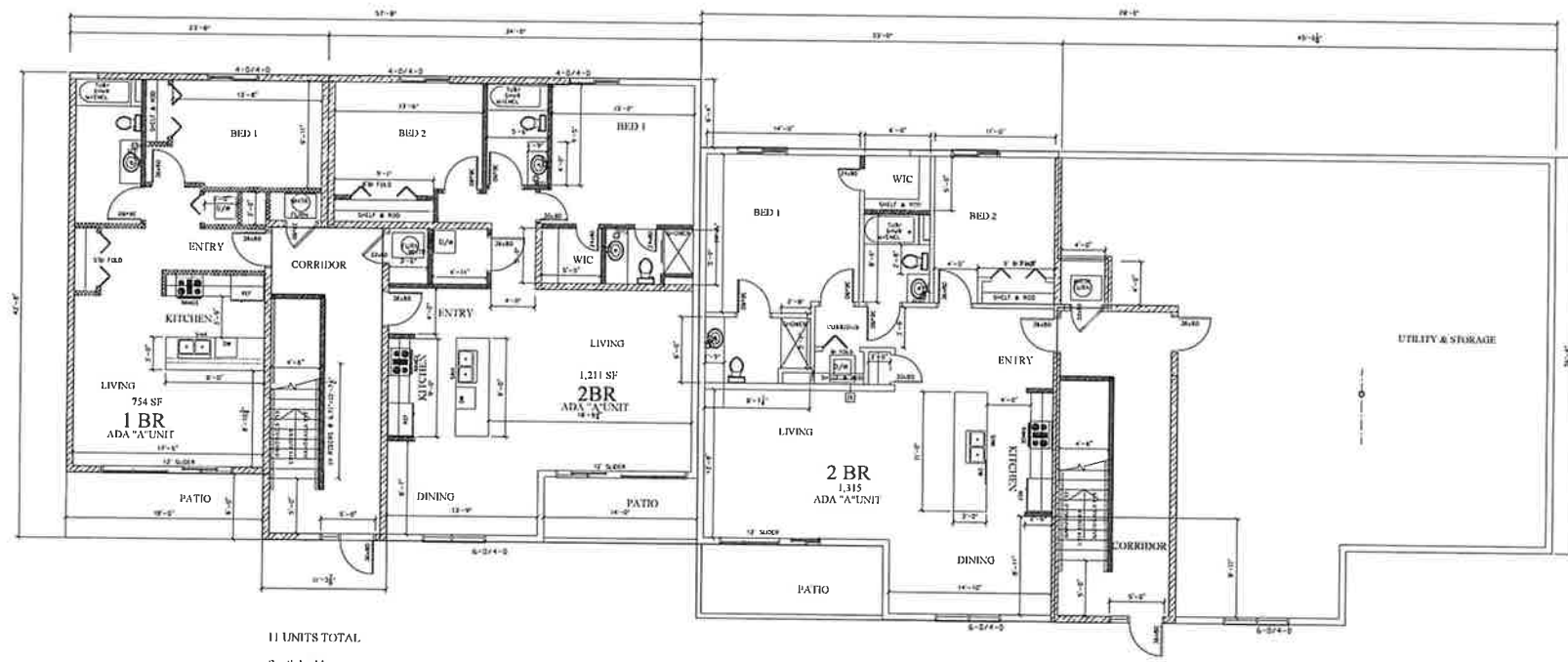
MARK SANFORD GROUP
1306 N. 163RD ST.
GRANITE, NE 68039
402.598.8422
www.marksanfordgroup.com

PROJECT	REPLACEMENT APARTMENT BUILDING 24 FONTENELLE HILLS BELLEVUE, NEBRASKA
ARCHITECT	MARK N. SANFORD, AIA
DRAWN BY	SD/3
DATE	3/16/22
SCALE	AS SHOWN
TITLE	RENDERING
NOVIT	A0.1

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PLANNING DEPT.



11 UNITS TOTAL.

South building
 3 1 BR Units @ 754 sf= 2,262 sf
 3 2 BR Units @ 1,211 sf= 3,633 sf

North building
 3 2 BR Units @ 1,315 sf= 3,945 sf
 2 3 BR units @ 1,491= 2,982 sf

TOTAL. 12,822 SF

ENTRY LEVEL PLAN

REPLACEMENT APARTMENT BUILDING 24
 FONTENELLE HILLS
 BELLEVUE, NEBRASKA



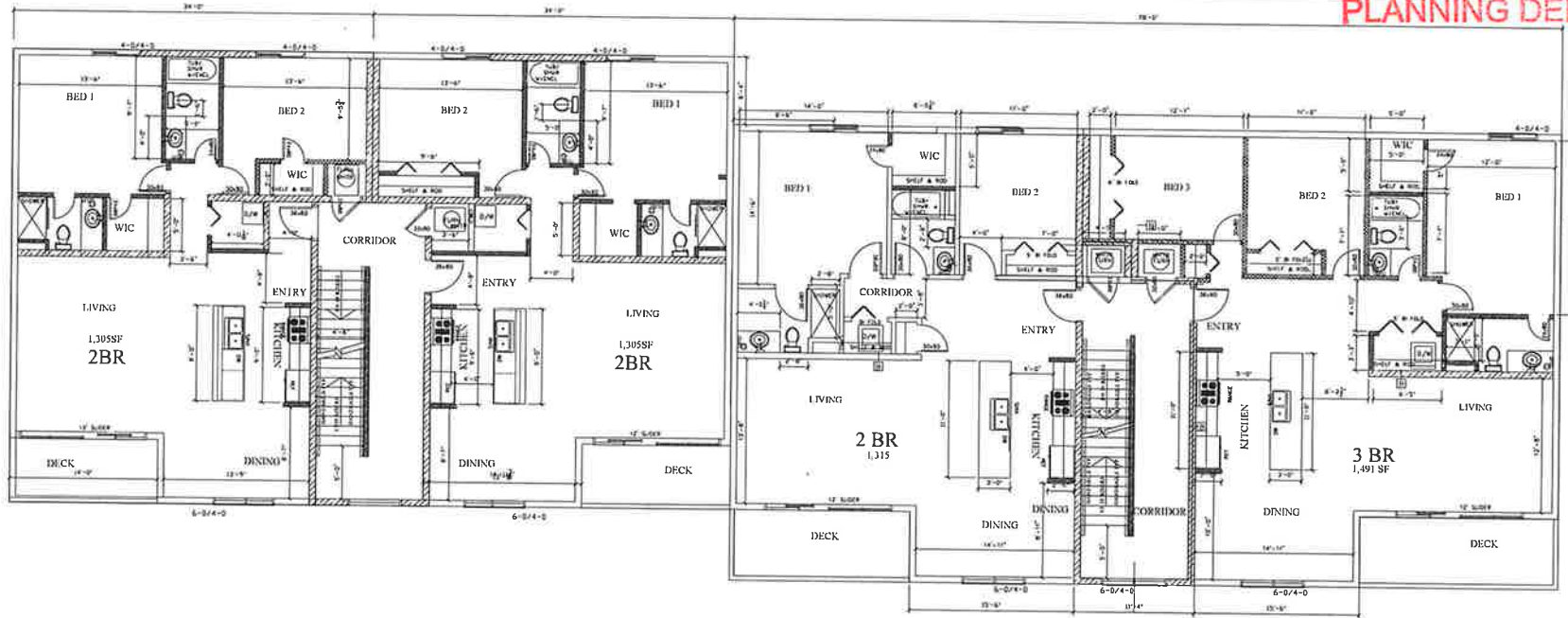
MARK SANFORD GROUP
 1304 N. 16th Street
 Omaha, NE 68102
 402.552.8822
 www.marksanfordgroup.com

PROJECT	REPLACEMENT APARTMENT BUILDING 24 FONTENELLE HILLS BELLEVUE, NEBRASKA
ARCHITECT	MARK N. SANFORD, AIA
DRAWN BY	A EN
DATE	3 FEB 22
SCALE	AS SHOWN
TITLE	ENTRY LEVEL
SHEET	A1

RECEIVED

MAR 16 2022

PLANNING DEPT.



2ND LEVEL PLAN



NEW BUILDING 24 RELOCATION
 MARTIN DRIVE
 BELLEVUE, NEBRASKA



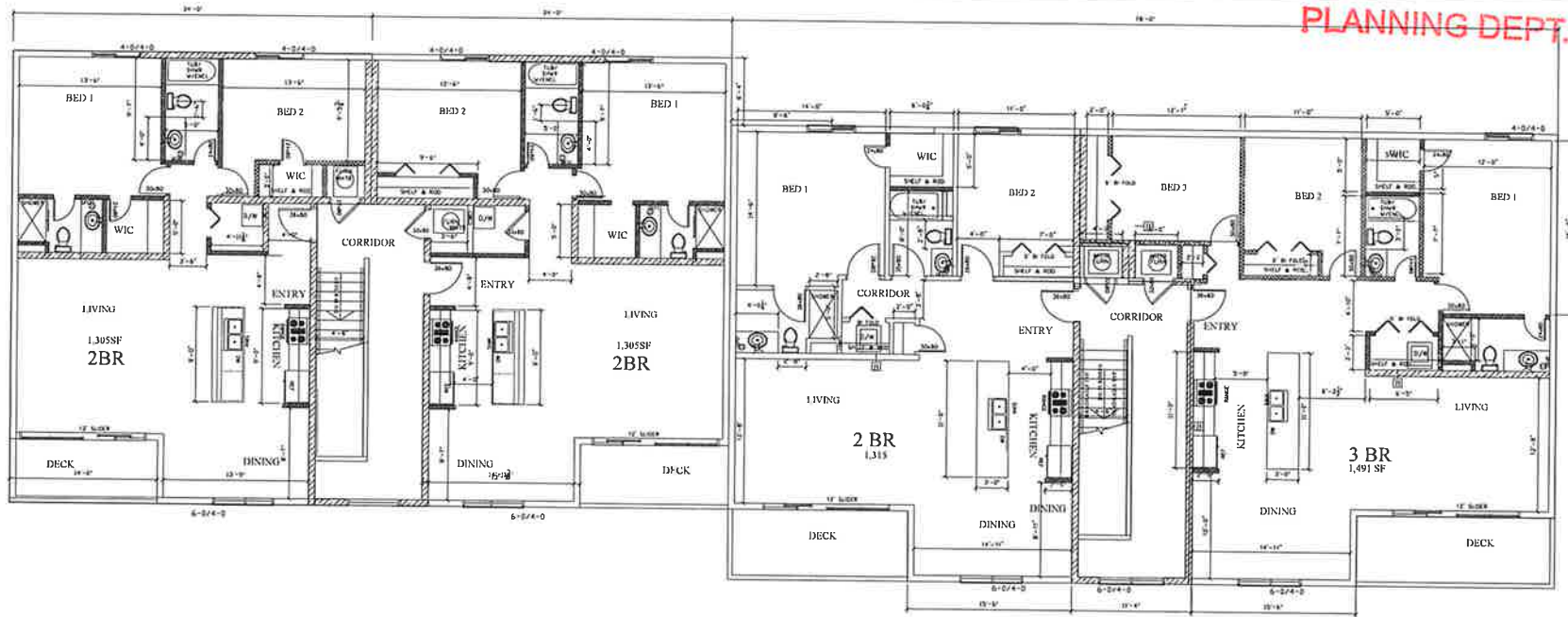
MARK SANFORD GROUP
 1304 N. 164th ST
 OMAHA, NE 68104
 www.marksanfordgroup.com

PROJECT	27 LACROSSE APARTMENTS 1000 S. 170th ST. #1001 - 1005 BELLEVUE, NEBRASKA
ARCHITECT	MARK N. SANFORD, AIA
DRAWN BY	A. CO.
DATE	3.16.22
SCALE	SHEET 1
TITLE	2ND LEVEL
NO. BY	A2

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MAR 16 2022

PLANNING DEPT.



3RD LEVEL PLAN



NEW BUILDING 24 RELOCATION
 MARTIN DRIVE
 BELLEVUE, NEBRASKA



MARK SANFORD GROUP
 1706 N. 162ND ST
 OMAHA, NE 68118
 402.398.8442
 www.marksanfordgroup.com

PROJECT: REPLACEMENT APARTMENT
 2400-2400 S. 131ST ST
 BELLEVUE, NEBRASKA

ARCHITECT:
 MARK S. SANFORD, AIA

ISSUED BY:
 JCS

DATE:
 3/16/22

SCALE:
 NOTED

TITLE:
 3RD LEVEL

SHEET:
 A3

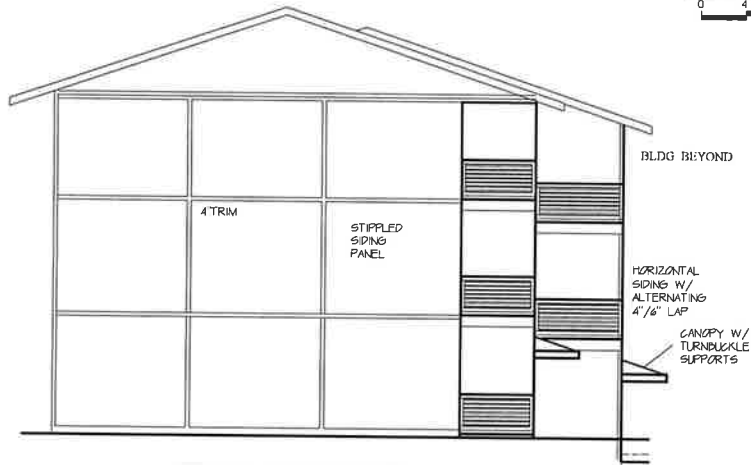
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MAR 16 2022

PLANNING DEPT.



FRONT ELEVATION



SOUTH ELEVATION

NEW BUILDING 24 RELOCATION
MARTIN DRIVE
BELLEVUE, NEBRASKA



MARK SANFORD GROUP
1306 N 162nd ST
OMAHA, NE 68119
913 292 9412
www.marksanfordgroup.com

PROJECT	RELOCATION APARTMENT
CLIENT	BELLEVUE NEBRASKA
ARCHITECT	MARK SANFORD, AIA
DRAWN BY	MOCK
DATE	3/16/22
SCALE	NOTED
TITLE	ELEVATIONS
SHEET	A4



City of Bellevue

Office of the Planning Department

Agenda items 3.c. – 3.f.

To: Planning Commission
From: Angela Curry, Assistant Planning Manager
Date: March 18, 2022
Subject: City of Bellevue annexation proposal

The City of Bellevue is proposing to annex the following two Sanitary and Improvement Districts into the city limits:

SID #67 Normandy Hills
SID #242 Cedar View

In addition to these SIDs, we are also proposing the annexation of an additional twenty (20) parcels that are currently adjacent to the City or will be upon approval of the SID annexations. Individual maps of the SIDs and the twenty (20) additional lots are attached.

FINANCIAL ANALYSIS

When the City annexes Sanitary and Improvement Districts, it assumes both its assets and liabilities. Assets include the infrastructure installed by the SID as well as any cash and investments held by the SID. Liabilities include any outstanding debt, in the form of bonds or warrants. The City will levy taxes on the properties (as it does on all property within the City) to generate funds for debt payments and the provision of City services. Any cash and investments held by the SIDs can also be used to pay debt.

The two SIDs proposed for annexation have an assessed valuation for 2021 of \$50,147,165 which will generate \$305,898 of property tax revenue for the City, based upon the current levy amount. The SIDs also currently have \$347,544 in cash and investments on deposit with the County Treasurer. The initial incremental increase in cash flow for the SID's would be \$356,348 and the potential future capital expenditures would be \$5,495,000. On the liability side, SID #242 has \$60,000 in outstanding bonded indebtedness. Annual debt payments for the bonded indebtedness are \$11,800. Annual tax revenue after debt service payments is expected to be \$294,098 prior to accounting for how the cash and investments are utilized. An increase in state aid, sales tax and other expenditures is expected to be \$191,795. The unincorporated lots will add another \$1,377,798 of valuation, \$8,406 of tax revenue, and an increase of \$58,458 in state aid, sales tax, and other debt to the annexation package. A chart showing figures for the individual SIDs and unincorporated lots is attached for your review.

In addition to property tax revenue, the City will also receive sales tax revenue from items delivered to residences in these areas, as well as from automobile purchases. Occupation taxes would also be collected on such things as phone and cable bills. The amount of revenue generated from these sources is unknown at this time.

Based upon the projected revenue and costs associated with this annexation, including the departmental needs for personnel and equipment as noted below, this annexation package is financially feasible for the City to undertake. Long-term capital projects will need to be addressed separately through the budget and CIP process.

DEMOGRAPHICS

The areas proposed for annexation consist of 272 parcels and 336 dwelling units, including apartments. The population estimate of 877 is based upon the 2020 Census average household size of 2.61 persons per dwelling unit.

DEPARTMENT REVIEW

The annexation proposal was sent out to other City departments for review, with a request for each to identify additional personnel and equipment needed to provide services to these areas. Based on the information provided the estimated increase in department costs would be \$214,554.00. Below is a summary of those comments; full responses are attached to this report.

Parks Department - one Park and open space, tree maintenance, one playground; no additional staff or equipment needed to maintain the four annexation areas. However, per Tom Woodard, Normandy Hills Park equipment and playground surface have several safety concerns. The park equipment will need to be renovated and made ADA accessible. Based on what Mr. Woodard has identified the estimated cost would be \$50,000.00 - \$70,000.00

Wastewater - infrastructure is satisfactory with minimal immediate repairs needed. Wastewater revenue would allow the department to continue to operate within its current operating margin

Street Department - additional 13.81 lane miles to maintain; increase in State Highway Allocation funding of \$112,728; 1 additional FTE personnel (\$50,000); increase in operational expenses of (\$109,502); capital expenses-one single-axle plow truck and one motor-grader (\$425,000)

Police Department - analyzed the SIDs in this annexation proposal would have a limited impact and no additional personnel or equipment needs at this time.

Fire Department - no impact. This area is already covered by the Bellevue Fire Department.

AFFECT ON ANNEXED AREAS

Areas that are annexed into the City will begin receiving City services on the effective date of the annexation. These services include street maintenance and snow removal, park maintenance (where applicable), police response, wastewater service, trash removal, free library cards, and specialized transportation services.

Property taxes

The impact of the property tax levy of the City is shown in the chart below (based upon current levy amounts). In determining future taxes, the levies for the SID and the three districts were removed and replaced with the City tax levy. Total tax amounts are impossible to predict as they are subject to changes in assessed valuations and changes in the tax levy of the various taxing jurisdictions.

<u>SID#</u>	<u>Change in levy</u>	<u>Change in property taxes per \$100,000 valuation</u>
67	0.130500	\$130.50
242	-0.069500	-\$69.50
Area #2	0.430500	\$430.50
Area #3	0.430500	\$430.50
Area #4	0.430500	\$430.50

The unincorporated lots will have a more significant increase in their property tax rates since they are not currently paying a SID tax. These parcels will see an increase of 0.430500 in the mil levy, or \$430.50 per \$100,000 of valuation.

Property tax changes will be effective for taxes assessed in 2022 and due in 2023.

Sales Taxes

City residents are required to pay City sales taxes on items delivered to their homes. This will affect people who buy items on-line or have deliveries from stores such as Nebraska Furniture Mart. The sales tax will also apply to new vehicle purchases. The City's sales tax rate is 1.5%.

Trash pick-up

The City contracts with Papillion Sanitation for residential trash pick-up in the city limits. Residents have the option of choosing 35-, 65-, or 95-gallon trash containers at a cost of \$14.10, \$17.10, or \$19.99 per month, respectively. Residential recycling and yard waste are included in the monthly charge. Billing for trash pick-up is included in the monthly MUD water/gas bill for residents and is not optional for residents. If a new resident wishes to keep his/her current trash service they may, but they will still be billed for Papillion Sanitation service on their MUD bill.

School Districts

The annexation has no effect on school district boundaries.

Post Office/Zip Code

The annexation has no effect on zip codes and which post office serves a particular area.

Planning, Zoning, Building Permits

All areas under consideration for annexation are currently within the City's extra-territorial jurisdiction and are subject to planning, zoning, and permitting requirements. Annexation will have no effect on this. Current uses of a property will be allowed to remain provided they were lawfully established.

Wastewater

Bellevue residents currently pay a minimum monthly wastewater service fee of \$18.79. Non-residents pay the City of Omaha minimum fee of \$39.18, new residents will see a monthly savings of approximately \$20.

Pets

City residents are required to license their pets through the Nebraska Humane Society. There is no change to the number of permitted household pets (three) as that regulation is in the Zoning Ordinance.

Other

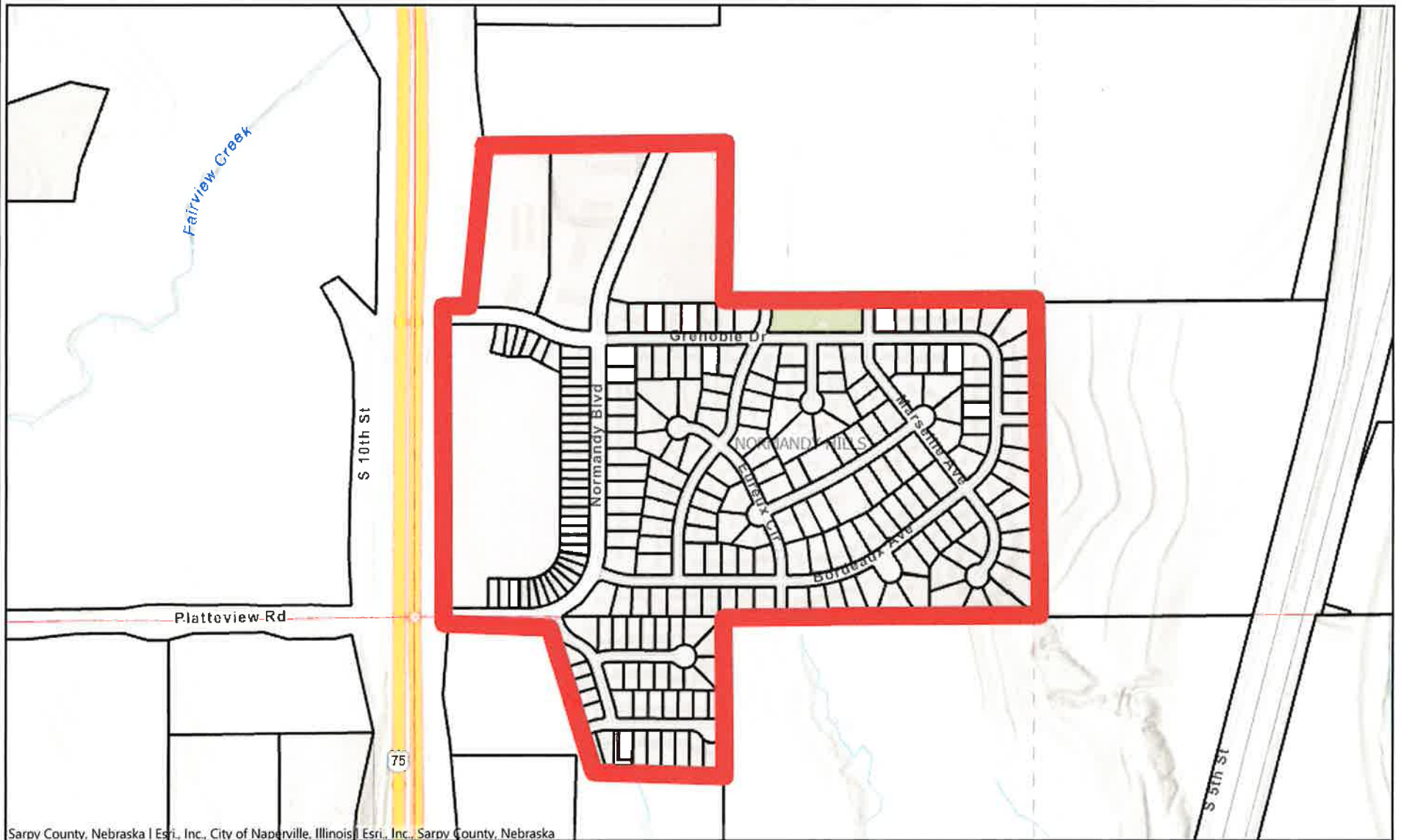
In addition to those items above, residents will be able to run for City offices and vote in local elections and be eligible to be appointed to City boards and commissions that require residency. Residents will also pay lower fees for some recreational programs and be able to get a library card free of charge.

PLANNING DEPARTMENT RECOMMENDATION

APPROVAL based upon the positive financial impact on the City and the natural growth and development of the City.

PLANNING COMMISSION RECOMMENDATION

Under Review



Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska



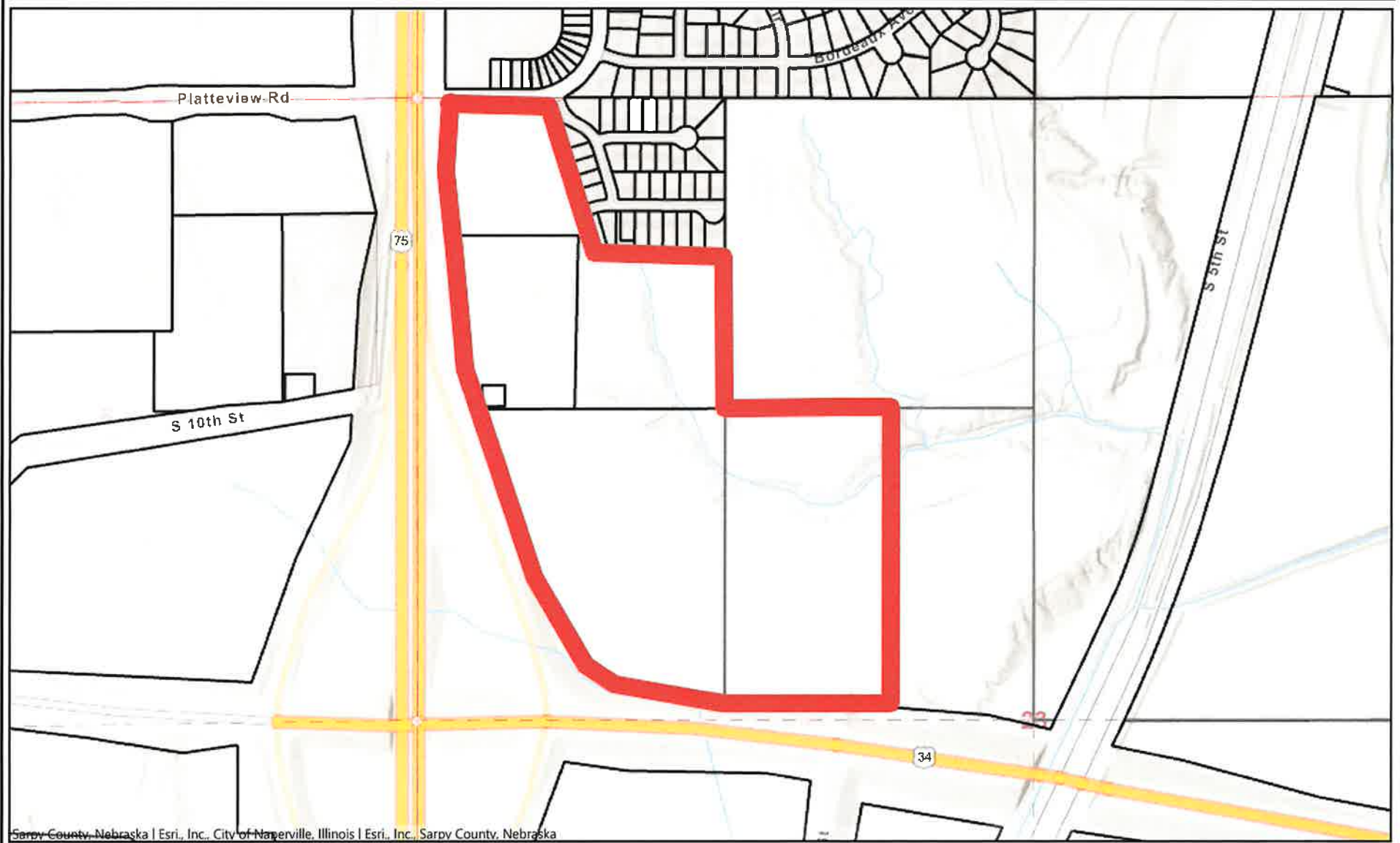
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This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes





Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska



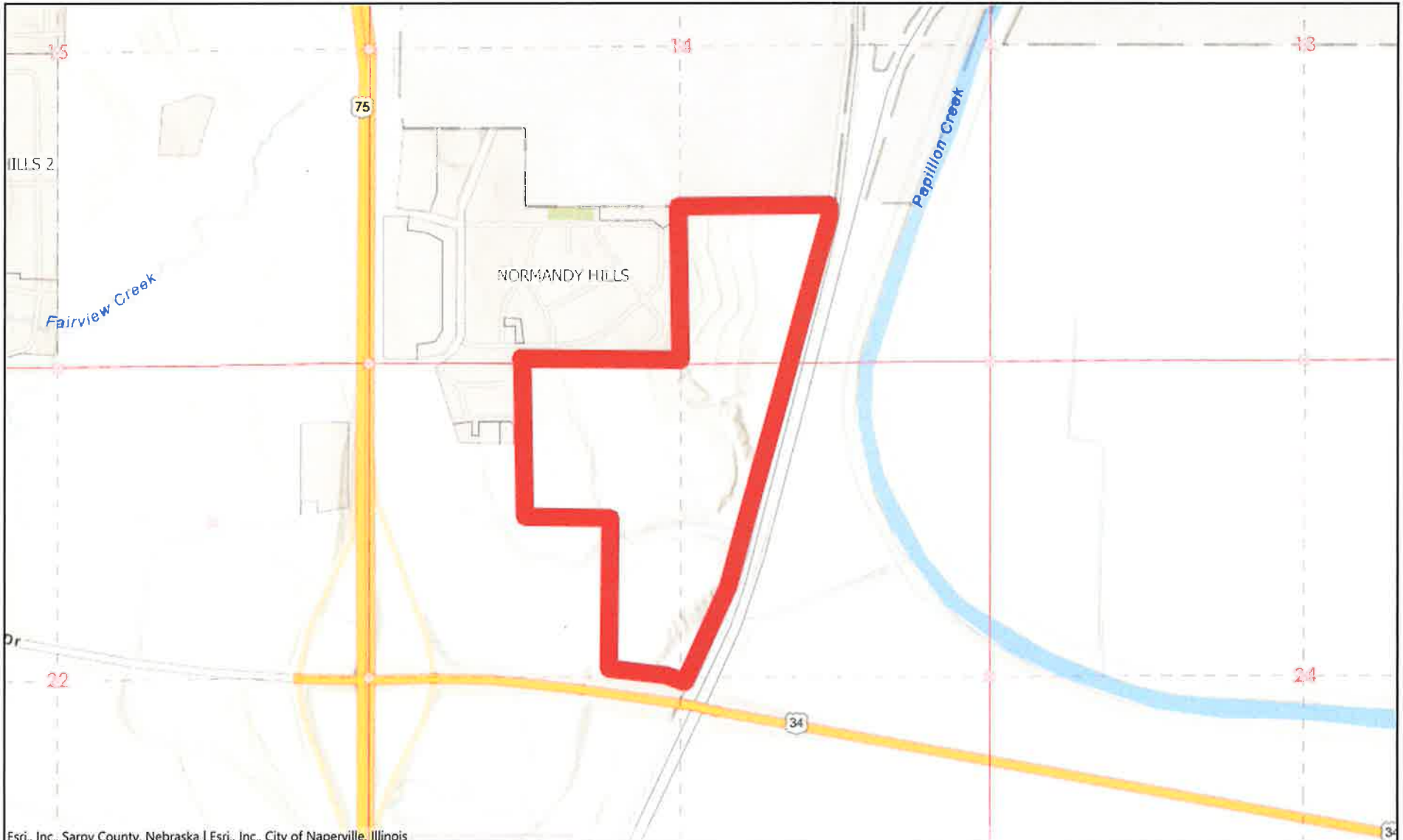
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Notes





Esri, Inc., Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois



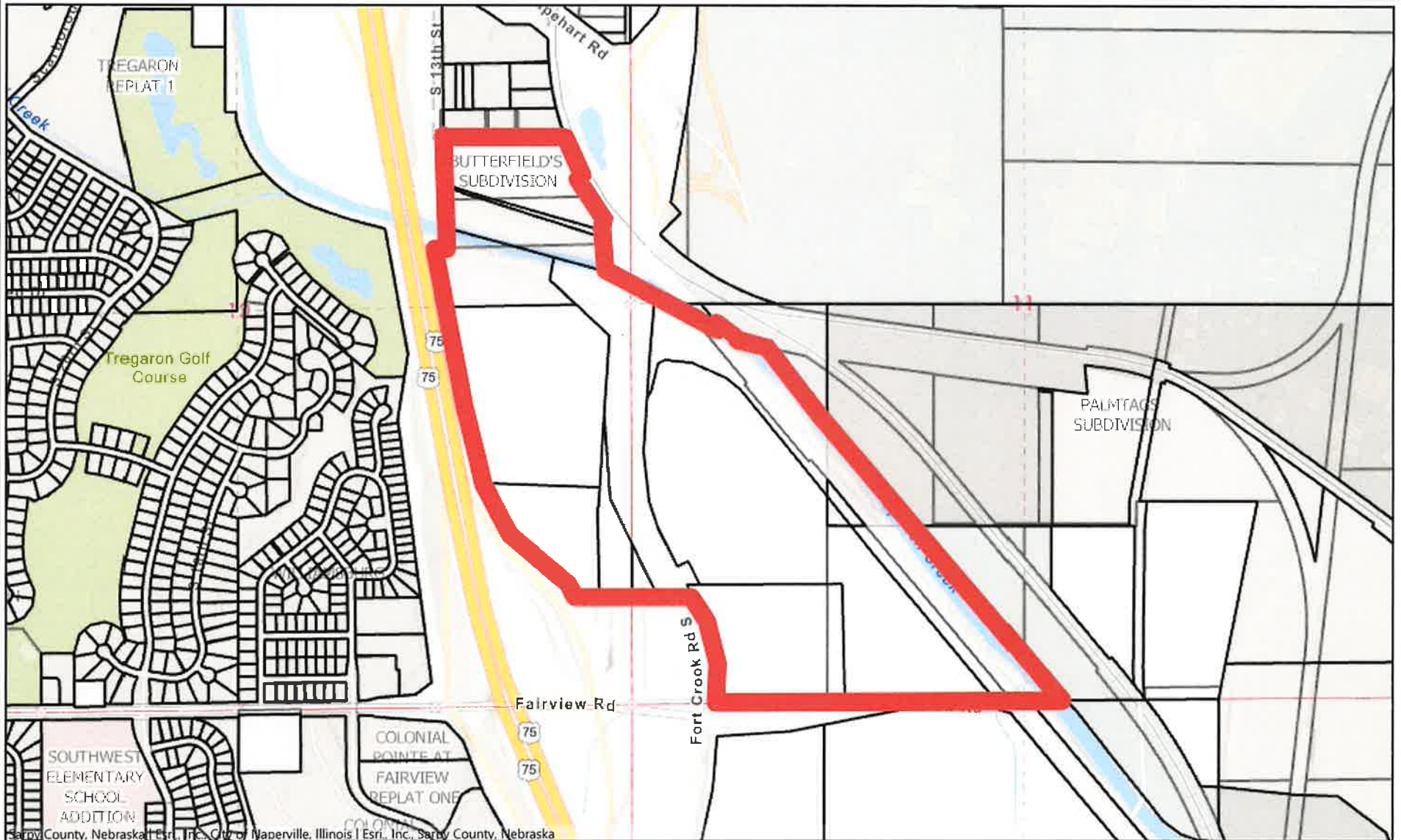
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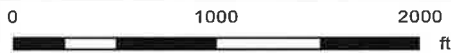


Notes





Sarpy County, Nebraska | Esri, Inc. | City of Naperville, Illinois | Esri, Inc. | Sarpy County, Nebraska



Map Scale 1: 14274

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Notes



Annexation Area/SID #	Annexation Area/SID Name	2021 Valuation	Cash And Investments	Bonded Debt	Annual Debt Service	City Tax Levy Revenue	Tax Revenue Minus Debt Service	Increase In State Aid, Sales Tax & Other	Increase In Department Costs	Initial Incremental Increase in Cash Flow	Potential Future Capital Expenditures
67	Normandy	\$ 42,268,815	\$ 307,908	\$ -	\$ -	\$ 257,840	\$ 257,840	\$ 171,465	\$ 103,431	\$ 325,874	\$ 5,495,000
242	Cedar View	\$ 7,878,350	\$ 39,636	\$ 60,000	\$ 11,800	\$ 48,058	\$ 36,258	\$ 20,330	\$ 26,114	\$ 30,474	
Area #2	Area #2	\$ 442,378	\$ -	\$ -	\$ -	\$ 2,699	\$ 2,699	\$ 232	\$ -	\$ 2,931	
Area #3	Area #3	\$ 578,615	\$ -	\$ -	\$ -	\$ 3,530	\$ 3,530	\$ 35,420	\$ 51,706	\$ (12,756)	
Area #4	Area #4	\$ 356,805	\$ -	\$ -	\$ -	\$ 2,177	\$ 2,177	\$ 22,806	\$ 33,303	\$ (8,320)	
		\$ 51,524,963	\$ 347,544	\$ 60,000	\$ 11,800	\$ 314,304	\$ 302,504	\$ 250,253	\$ 214,554	\$ 338,203	\$ 5,495,000



City of Bellevue

Parks Department

8201 South 42nd Street • Bellevue, Nebraska 68147 • (402) 293-3122


MEMO

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MAR 07 2022

PLANNING DEPT.

To: Doug Clark
Tammi Palm
Angela Curry

From: Jim Shada 

Subject: Proposed Annexation Packages

Date: March 7, 2022

As per your request, after reviewing the four annexation packages, the Parks Department would not require any additional staff or equipment needs to maintain the four annexation areas. However, Normandy Hills Park equipment and playground surface has several safety concerns. Please find attached Mr. Tom Woodard's assessment. Based on what Tom has pointed out, I would estimate it would cost between \$50,000.00-\$70,000.00 to renovate the park equipment and make it ADA accessible.

Thank you,

Jim Shada
Parks & Recreation Director

information

[Tom Woodard](#)

Mon 3/7/2022 10:44 AM

To: Jim Shada <Jim.Shada@bellevue.net>;

1 attachments (4 MB)

Normandy Hills.docx;

If you need more specifics I can get that for you as needed. Let me know..Tom

**Normandy Hills
March 7, 2022**



This 2-5 playground assembly is an older unit but I did not observe any notable Safety concerns. The whole playground is covered in pea gravel which is not the best for impact safety but is acceptable.





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This Park does offer a fenced in Basketball court , it might server as a tennis court as well



City of Bellevue

Waste Water Department

8902 Cedar Island Road • Bellevue, Nebraska 68147 • (402) 293-3135

To: Tammi Palm
 CC: Doug Clark
 From: Epiphany Ramos
 RE: Annexation Report Request Dated 02/17/2022 – Normandy Hills and undeveloped lots
 Date: February 28, 2022

I have reviewed the proposed annexation areas and have found the sanitary infrastructure to be satisfactory, with likely minimal pipeline repairs needed immediately. There appear to be at least two manhole structures that will require immediate repairs via confined space access. The condition of the lift station is unknown due to inability to gain access, however it was operational upon inspection. There is also approximately 500' of 4" force main that could not be inspected. Upgrades to the lift station will be needed to standardize communications and components to meet current WW Operations and Maintenance Plan objectives. Immediate intense cleaning and PACP inspection will be required upon annexation which will take approximately 2 months for my current staff to complete and will create backlog for the existing scheduled workload. Once this initial cleaning and inspection is completed, routine maintenance and scheduled capital improvement planning should begin. Our operating margin is currently at approximately 30%, we would be able to maintain this margin within these locations as well.

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and CedarView	500 (Force Main)	1 (Lift Station)	0	\$ -	10	0.13

RECEIVED

FEB 28 2022

PLANNING DEPT.





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

MEMORANDUM

To: Doug Clark Public Works Director
From: Bobby Riggs Street Superintendent
Subject: 2021 Annexation Package Impact Review
Date: March 7, 2022

RECEIVED

MAR 7 2022

PLANNING DEPT.

I. SID AREAS

Lane Mile Additions – 1.92 % increase over existing

- **Package, Total Lane Miles = 12.81**
 - Area 1 - #67 – Normandy Hills = 5.66 #242 – Cedar View = 0.59
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Required increases to for maintenance, material costs to maintain existing service levels

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Mailing Address: 210 West Mission Avenue Bellevue, Nebraska 68005





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

B. C.I.P. CONSIDERATIONS (Year-one costs)

i.) MANPOWER NEEDS

Recommendation (Current + Prior Annexations, Historical Staffing Numbers)

As of year-end, fiscal 2021-21, the Street Department provided street pavement maintenance, snow removal, sign/signal maintenance and bi-annual street-sweeping on nearly 670 lane miles of roads.

The department should look to seek a staffing ratio of 1 employee per 15.00 lane miles to meet operational needs.

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FY 2021-22 increased department Personnel cost assumption, above current levels for one full-time staff addition - \$50,000

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To provide current levels of service during snow removal operations in the winter months, the department used thirty-four (38) pieces of equipment to clear roads in the winter last year. This averages 17.63 lane miles per unit. The proposed areas in this package would require adding one plow route for operations in the winter.

Equipment additions – One (1) single-axle plow truck, one (1) motor-grader.

Estimated first-year equipment cost to cover areas, above potential approved budget - \$425,000

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Special consideration should be given to this area, namely the roadway and bridge conditions. Road resurfacing and significant bridge rehabilitation will cost upwards of 5 million dollars and should be programmed immediately.

C. REVENUE

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Projected revenue increase

Highway Allocation funding is somewhat fluid and subject to change with revenue fluctuation.

Mailing Address: 210 West Mission Avenue Bellevue, Nebraska 68005





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

Revenue projections in this report are based solely on fiscal 21-22 budget forecast reduced to a per lane mile estimate.

Fiscal 2021-22 budget – \$5,871,407 for 2021 lane mile levels. This budget forecast equates to roughly \$8,800 per lane mile in revenue from the Highway Trust fund on an annual basis.

The 12-month anticipated increase to Highway Allocation revenue levels from this proposed package would be \$112,728.

Mailing Address: 210 West Mission Avenue Bellevue, Nebraska 68005



Tammi Palm

From: Ken Clary
Sent: Wednesday, March 9, 2022 9:23 AM
To: Tammi Palm
Cc: Dave Stukenholtz; Jim Ristow
Subject: RE: proposed annexation packages

Tammi,

I apologize for the delay. At this time the impact would be limited regarding the proposed annexations. The only currently populated area of the annexations is Normandy Hills. Sarpy County shows 213 total calls for service in that area over the previous year. I believe our District 712 or 742 cars could absorb those calls over the short term. I will add the caveat that – as this area is built-out and we annex more area around Hwy 34 and Hwy 75, that will likely need to be added as a stand-alone district (adding the need for four additional officers). Talking to Mark, that will likely be in the timeline of 2024 or 2025. So, to summarize, the current impact would be negligible and we will discuss further with future annexations in that area.

KC

From: Tammi Palm <Tammi.Palm@bellevue.net>
Sent: Wednesday, March 9, 2022 8:40 AM
To: Ken Clary <ken.clary@bellevue.net>
Subject: FW: proposed annexation packages

Hi Chief,

Just a reminder – can I get your comments on these proposed annexations? We're putting our report together and I want to make sure I have any Police needs documented.

Thanks!

Best regards,

Tammi Palm

Planning Manager
City of Bellevue
1510 Wall Street
Bellevue, NE 68005
(402) 293-3038

From: Tammi Palm
Sent: Thursday, February 17, 2022 10:45 AM
To: Mark Elbert <mark.elbert@bellevue.net>; Doug Clark <doug.clark@bellevue.net>; Ashley Decker <ashley.decker@bellevue.net>; Susan Kluthe <Susan.Kluthe@bellevue.net>; Julie Dinville <Julie.Dinville@bellevue.net>; Perry Guido <Perry.Guido@bellevue.net>; Ken Clary <ken.clary@bellevue.net>
Cc: Richard Severson <richard.severson@bellevue.net>; 'Angela Curry' <angela.curry@bellevue.net>; Bree Robbins <bree.robbins@bellevue.net>
Subject: proposed annexation packages

Tammi Palm

From: Gifford, Donald (235)
Sent: Tuesday, February 22, 2022 6:23 AM
To: Tammi Palm
Cc: Guido, Perry
Subject: FW: proposed annexation packages
Attachments: Annex Area 1 GIS Map.pdf; Annex Area 2 GIS map.pdf; Annex Area 3 GIS Map.pdf; Annex Area 4 GIS Map.pdf

Tami,

Chief Guido ask me to investigate this, there is no impact to the fire department due to the fire department already covers the areas in the proposed annexation package.

Donald Gifford
Battalion Chief
City of Bellevue Fire Department
Inspections Bureau
Email Donald.gifford@bellevue.net
Phone 402-682-6630
Cell 402-515-8545

From: Tammi Palm <Tammi.Palm@bellevue.net>
Date: February 17, 2022 at 10:44:45 AM CST
To: Mark Elbert <mark.elbert@bellevue.net>, Doug Clark <doug.clark@bellevue.net>, Ashley Decker <ashley.decker@bellevue.net>, Susan Kluthe <Susan.Kluthe@bellevue.net>, Julie Dinville <Julie.Dinville@bellevue.net>, Perry Guido <Perry.Guido@bellevue.net>, Ken Clary <ken.clary@bellevue.net>
Cc: Richard Severson <richard.severson@bellevue.net>, Angela Curry <angela.curry@bellevue.net>, Bree Robbins <bree.robbins@bellevue.net>
Subject: proposed annexation packages

Good morning,

The city is proposing four annexation packages to be heard at our March 24 Planning Commission meeting. I have attached maps of each area. Please distribute amongst your departments as necessary and please provide detailed impact information (i.e. additional staff needs, equipment, etc.) back to me by **March 7**.

Please breakdown your impacts per proposed annexation area if possible and as applicable, as we will look at each of these areas separately through the public hearing process.

Please let me know if you have any questions.

Thanks!



City of Bellevue

Office of the Planning Department

Agenda items 3.c. – 3.f.

To: Planning Commission
From: Angela Curry, Assistant Planning Manager
Date: March 18, 2022
Subject: City of Bellevue annexation proposal

The City of Bellevue is proposing to annex the following two Sanitary and Improvement Districts into the city limits:

SID #67 Normandy Hills
SID #242 Cedar View

In addition to these SIDs, we are also proposing the annexation of an additional twenty (20) parcels that are currently adjacent to the City or will be upon approval of the SID annexations. Individual maps of the SIDs and the twenty (20) additional lots are attached.

FINANCIAL ANALYSIS

When the City annexes Sanitary and Improvement Districts, it assumes both its assets and liabilities. Assets include the infrastructure installed by the SID as well as any cash and investments held by the SID. Liabilities include any outstanding debt, in the form of bonds or warrants. The City will levy taxes on the properties (as it does on all property within the City) to generate funds for debt payments and the provision of City services. Any cash and investments held by the SIDs can also be used to pay debt.

The two SIDs proposed for annexation have an assessed valuation for 2021 of \$50,147,165 which will generate \$305,898 of property tax revenue for the City, based upon the current levy amount. The SIDs also currently have \$347,544 in cash and investments on deposit with the County Treasurer. The initial incremental increase in cash flow for the SID's would be \$356,348 and the potential future capital expenditures would be \$5,495,000. On the liability side, SID #242 has \$60,000 in outstanding bonded indebtedness. Annual debt payments for the bonded indebtedness are \$11,800. Annual tax revenue after debt service payments is expected to be \$294,098 prior to accounting for how the cash and investments are utilized. An increase in state aid, sales tax and other expenditures is expected to be \$191,795. The unincorporated lots will add another \$1,377,798 of valuation, \$8,406 of tax revenue, and an increase of \$58,458 in state aid, sales tax, and other debt to the annexation package. A chart showing figures for the individual SIDs and unincorporated lots is attached for your review.

In addition to property tax revenue, the City will also receive sales tax revenue from items delivered to residences in these areas, as well as from automobile purchases. Occupation taxes would also be collected on such things as phone and cable bills. The amount of revenue generated from these sources is unknown at this time.

Based upon the projected revenue and costs associated with this annexation, including the departmental needs for personnel and equipment as noted below, this annexation package is financially feasible for the City to undertake. Long-term capital projects will need to be addressed separately through the budget and CIP process.

DEMOGRAPHICS

The areas proposed for annexation consist of 272 parcels and 336 dwelling units, including apartments. The population estimate of 877 is based upon the 2020 Census average household size of 2.61 persons per dwelling unit.

DEPARTMENT REVIEW

The annexation proposal was sent out to other City departments for review, with a request for each to identify additional personnel and equipment needed to provide services to these areas. Based on the information provided the estimated increase in department costs would be \$214,554.00. Below is a summary of those comments; full responses are attached to this report.

Parks Department - one Park and open space, tree maintenance, one playground; no additional staff or equipment needed to maintain the four annexation areas. However, per Tom Woodard, Normandy Hills Park equipment and playground surface have several safety concerns. The park equipment will need to be renovated and made ADA accessible. Based on what Mr. Woodard has identified the estimated cost would be \$50,000.00 - \$70,000.00

Wastewater - infrastructure is satisfactory with minimal immediate repairs needed. Wastewater revenue would allow the department to continue to operate within its current operating margin

Street Department - additional 13.81 lane miles to maintain; increase in State Highway Allocation funding of \$112,728; 1 additional FTE personnel (\$50,000); increase in operational expenses of (\$109,502); capital expenses-one single-axle plow truck and one motor-grader (\$425,000)

Police Department - analyzed the SIDs in this annexation proposal would have a limited impact and no additional personnel or equipment needs at this time.

Fire Department - no impact. This area is already covered by the Bellevue Fire Department.

AFFECT ON ANNEXED AREAS

Areas that are annexed into the City will begin receiving City services on the effective date of the annexation. These services include street maintenance and snow removal, park maintenance (where applicable), police response, wastewater service, trash removal, free library cards, and specialized transportation services.

Property taxes

The impact of the property tax levy of the City is shown in the chart below (based upon current levy amounts). In determining future taxes, the levies for the SID and the three districts were removed and replaced with the City tax levy. Total tax amounts are impossible to predict as they are subject to changes in assessed valuations and changes in the tax levy of the various taxing jurisdictions.

<u>SID#</u>	<u>Change in levy</u>	<u>Change in property taxes per \$100,000 valuation</u>
67	0.130500	\$130.50
242	-0.069500	-\$69.50
Area #2	0.430500	\$430.50
Area #3	0.430500	\$430.50
Area #4	0.430500	\$430.50

The unincorporated lots will have a more significant increase in their property tax rates since they are not currently paying a SID tax. These parcels will see an increase of 0.430500 in the mil levy, or \$430.50 per \$100,000 of valuation.

Property tax changes will be effective for taxes assessed in 2022 and due in 2023.

Sales Taxes

City residents are required to pay City sales taxes on items delivered to their homes. This will affect people who buy items on-line or have deliveries from stores such as Nebraska Furniture Mart. The sales tax will also apply to new vehicle purchases. The City's sales tax rate is 1.5%.

Trash pick-up

The City contracts with Papillion Sanitation for residential trash pick-up in the city limits. Residents have the option of choosing 35-, 65-, or 95-gallon trash containers at a cost of \$14.10, \$17.10, or \$19.99 per month, respectively. Residential recycling and yard waste are included in the monthly charge. Billing for trash pick-up is included in the monthly MUD water/gas bill for residents and is not optional for residents. If a new resident wishes to keep his/her current trash service they may, but they will still be billed for Papillion Sanitation service on their MUD bill.

School Districts

The annexation has no effect on school district boundaries.

Post Office/Zip Code

The annexation has no effect on zip codes and which post office serves a particular area.

Planning, Zoning, Building Permits

All areas under consideration for annexation are currently within the City's extra-territorial jurisdiction and are subject to planning, zoning, and permitting requirements. Annexation will have no effect on this. Current uses of a property will be allowed to remain provided they were lawfully established.

Wastewater

Bellevue residents currently pay a minimum monthly wastewater service fee of \$18.79. Non-residents pay the City of Omaha minimum fee of \$39.18, new residents will see a monthly savings of approximately \$20.

Pets

City residents are required to license their pets through the Nebraska Humane Society. There is no change to the number of permitted household pets (three) as that regulation is in the Zoning Ordinance.

Other

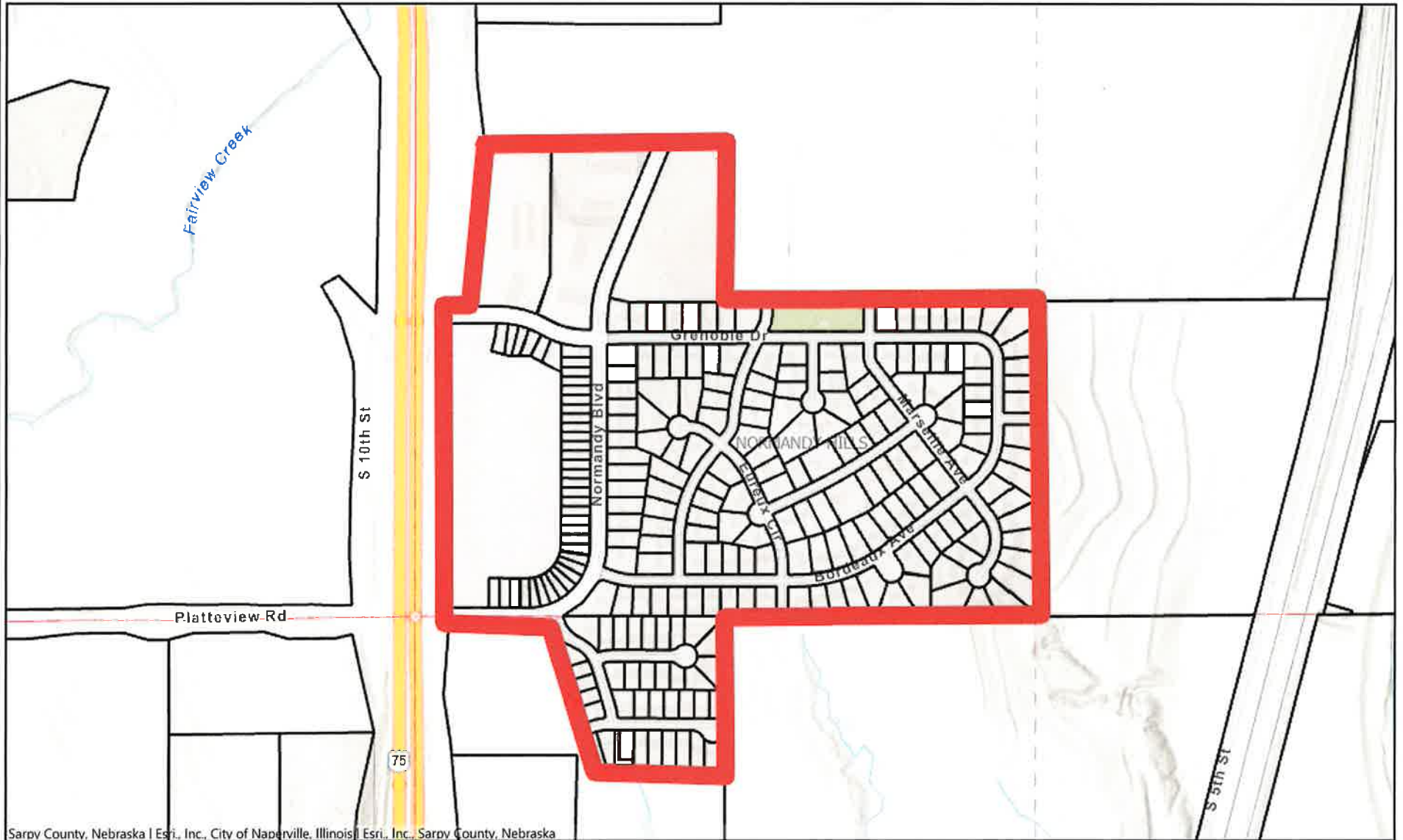
In addition to those items above, residents will be able to run for City offices and vote in local elections and be eligible to be appointed to City boards and commissions that require residency. Residents will also pay lower fees for some recreational programs and be able to get a library card free of charge.

PLANNING DEPARTMENT RECOMMENDATION

APPROVAL based upon the positive financial impact on the City and the natural growth and development of the City.

PLANNING COMMISSION RECOMMENDATION

Under Review



Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska



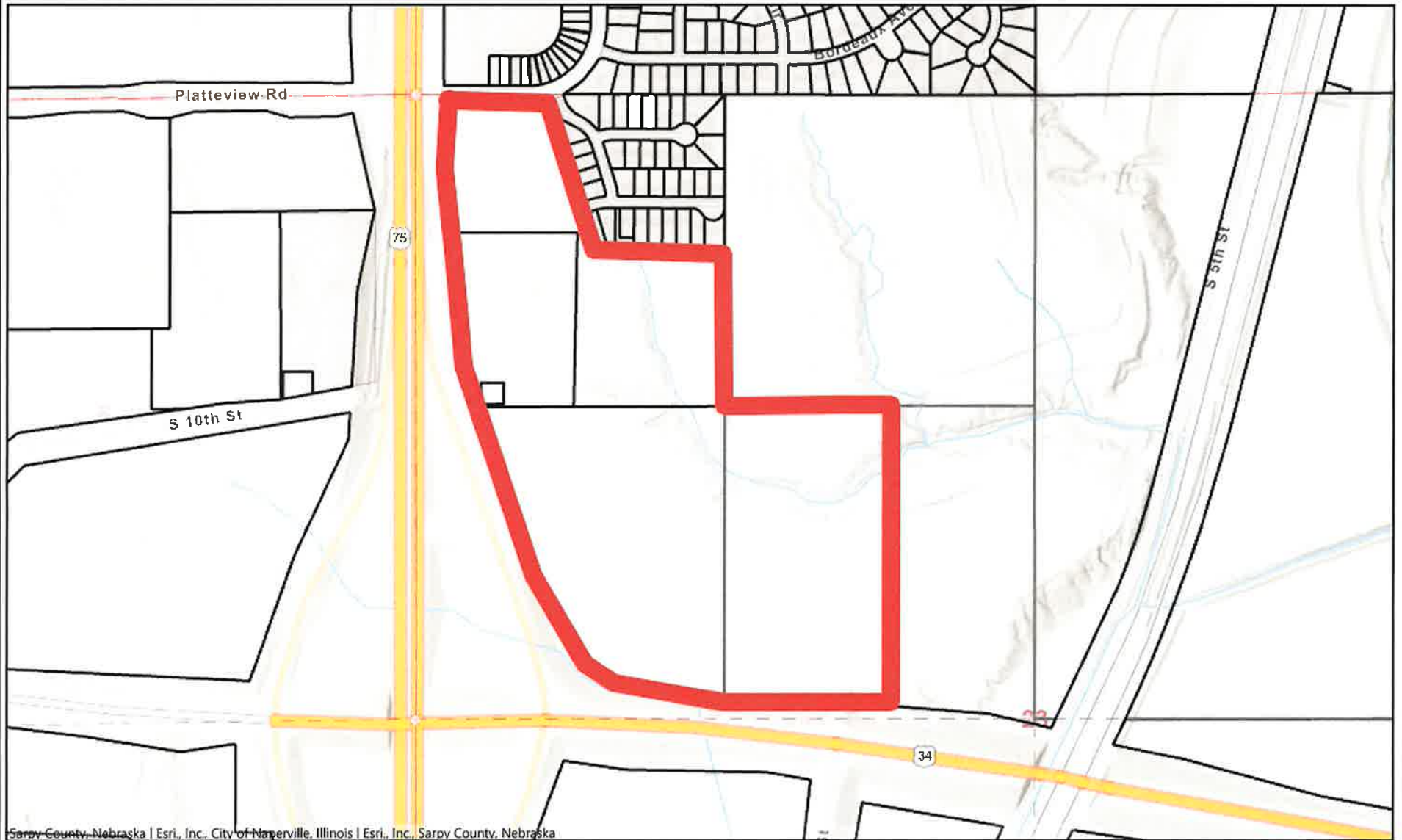
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This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes





Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska



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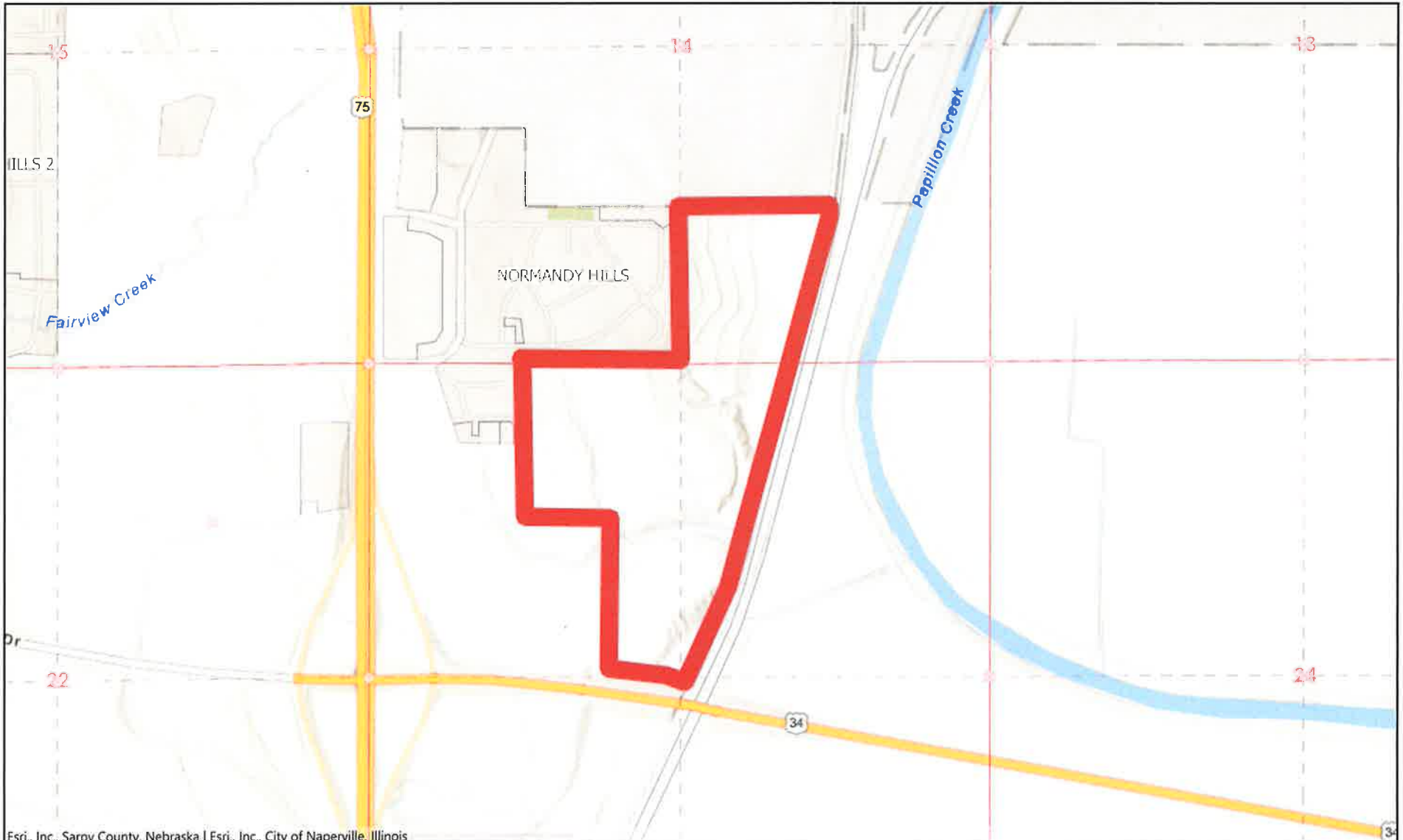
Notes





SARPY COUNTY
NEBRASKA

Annexation Area #3



Esri, Inc., Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois



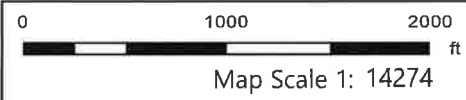
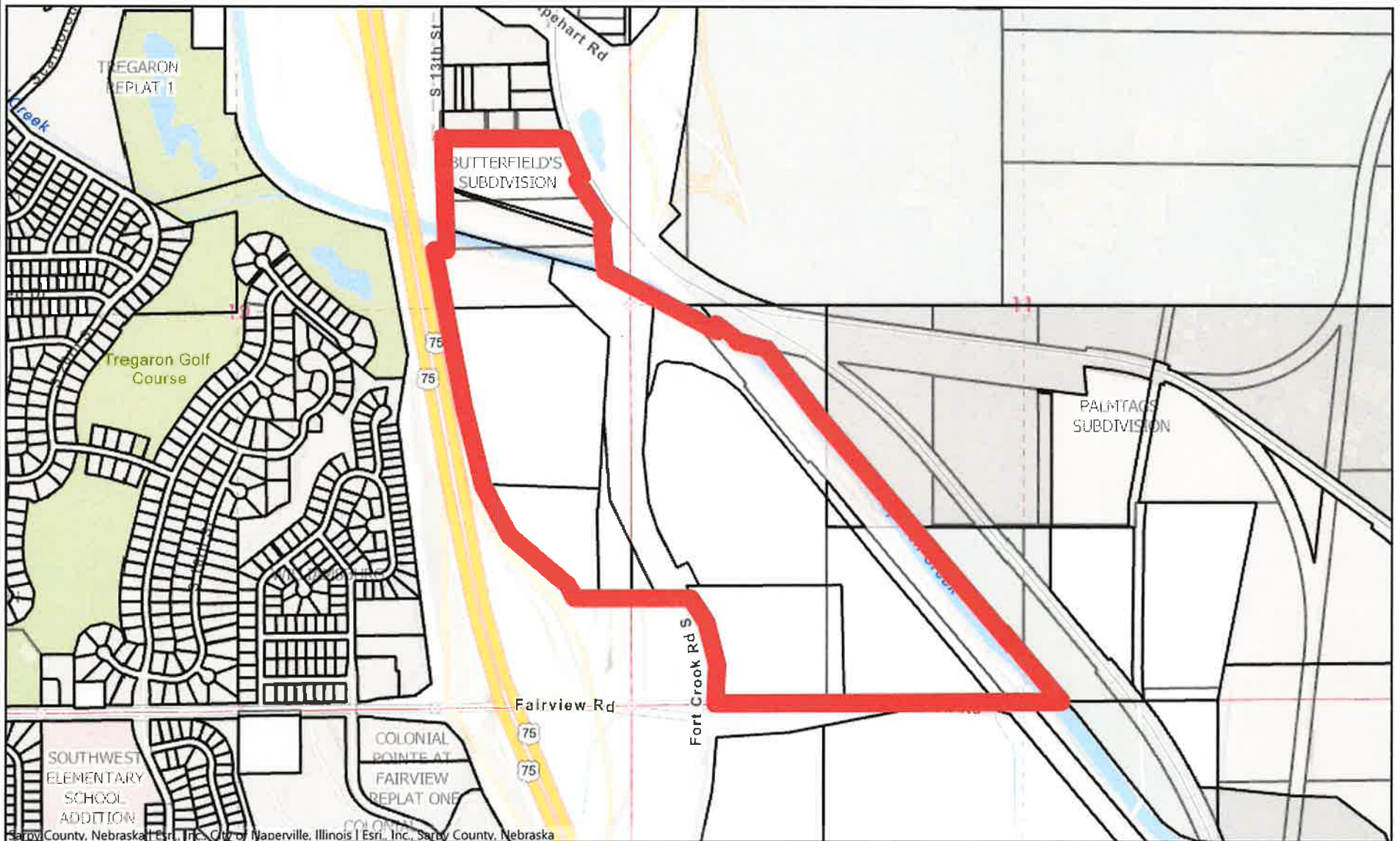
Map Scale 1: 18056

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Notes



Annexation Area/SID #	Annexation Area/SID Name	2021 Valuation	Cash And Investments	Bonded Debt	Annual Debt Service	City Tax Levy Revenue	Tax Revenue Minus Debt Service	Increase In State Aid, Sales Tax & Other	Increase In Department Costs	Initial Incremental Increase in Cash Flow	Potential Future Capital Expenditures
67	Normandy	\$ 42,268,815	\$ 307,908	\$ -	\$ -	\$ 257,840	\$ 257,840	\$ 171,465	\$ 103,431	\$ 325,874	\$ 5,495,000
242	Cedar View	\$ 7,878,350	\$ 39,636	\$ 60,000	\$ 11,800	\$ 48,058	\$ 36,258	\$ 20,330	\$ 26,114	\$ 30,474	
Area #2	Area #2	\$ 442,378	\$ -	\$ -	\$ -	\$ 2,699	\$ 2,699	\$ 232	\$ -	\$ 2,931	
Area #3	Area #3	\$ 578,615	\$ -	\$ -	\$ -	\$ 3,530	\$ 3,530	\$ 35,420	\$ 51,706	\$ (12,756)	
Area #4	Area #4	\$ 356,805	\$ -	\$ -	\$ -	\$ 2,177	\$ 2,177	\$ 22,806	\$ 33,303	\$ (8,320)	
		\$ 51,524,963	\$ 347,544	\$ 60,000	\$ 11,800	\$ 314,304	\$ 302,504	\$ 250,253	\$ 214,554	\$ 338,203	\$ 5,495,000



City of Bellevue

Parks Department

8201 South 42nd Street • Bellevue, Nebraska 68147 • (402) 293-3122


MEMO

RECEIVED

MAR 07 2022

PLANNING DEPT.

To: Doug Clark
Tammi Palm
Angela Curry

From: Jim Shada 

Subject: Proposed Annexation Packages

Date: March 7, 2022

As per your request, after reviewing the four annexation packages, the Parks Department would not require any additional staff or equipment needs to maintain the four annexation areas. However, Normandy Hills Park equipment and playground surface has several safety concerns. Please find attached Mr. Tom Woodard's assessment. Based on what Tom has pointed out, I would estimate it would cost between \$50,000.00-\$70,000.00 to renovate the park equipment and make it ADA accessible.

Thank you,

Jim Shada
Parks & Recreation Director

information

[Tom Woodard](#)

Mon 3/7/2022 10:44 AM

To: Jim Shada <Jim.Shada@bellevue.net>;

1 attachments (4 MB)

Normandy Hills.docx;

If you need more specifics I can get that for you as needed. Let me know..Tom

**Normandy Hills
March 7, 2022**



This 2-5 playground assembly is an older unit but I did not observe any notable Safety concerns. The whole playground is covered in pea gravel which is not the best for impact safety but is acceptable.





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RECEIVED

FEB 28 2022

PLANNING DEPT.





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

MEMORANDUM

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From: Bobby Riggs Street Superintendent
Subject: 2021 Annexation Package Impact Review
Date: March 7, 2022

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MAR 7 2022

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Mailing Address: 210 West Mission Avenue Bellevue, Nebraska 68005





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

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City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

Revenue projections in this report are based solely on fiscal 21-22 budget forecast reduced to a per lane mile estimate.

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Subject: RE: proposed annexation packages

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I apologize for the delay. At this time the impact would be limited regarding the proposed annexations. The only currently populated area of the annexations is Normandy Hills. Sarpy County shows 213 total calls for service in that area over the previous year. I believe our District 712 or 742 cars could absorb those calls over the short term. I will add the caveat that – as this area is built-out and we annex more area around Hwy 34 and Hwy 75, that will likely need to be added as a stand-alone district (adding the need for four additional officers). Talking to Mark, that will likely be in the timeline of 2024 or 2025. So, to summarize, the current impact would be negligible and we will discuss further with future annexations in that area.

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Subject: FW: proposed annexation packages

Hi Chief,

Just a reminder – can I get your comments on these proposed annexations? We're putting our report together and I want to make sure I have any Police needs documented.

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City of Bellevue
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(402) 293-3038

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Attachments: Annex Area 1 GIS Map.pdf; Annex Area 2 GIS map.pdf; Annex Area 3 GIS Map.pdf; Annex Area 4 GIS Map.pdf

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Please breakdown your impacts per proposed annexation area if possible and as applicable, as we will look at each of these areas separately through the public hearing process.

Please let me know if you have any questions.

Thanks!



City of Bellevue

Office of the Planning Department

Agenda items 3.c. – 3.f.

To: Planning Commission
From: Angela Curry, Assistant Planning Manager
Date: March 18, 2022
Subject: City of Bellevue annexation proposal

The City of Bellevue is proposing to annex the following two Sanitary and Improvement Districts into the city limits:

SID #67 Normandy Hills
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In addition to these SIDs, we are also proposing the annexation of an additional twenty (20) parcels that are currently adjacent to the City or will be upon approval of the SID annexations. Individual maps of the SIDs and the twenty (20) additional lots are attached.

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In addition to property tax revenue, the City will also receive sales tax revenue from items delivered to residences in these areas, as well as from automobile purchases. Occupation taxes would also be collected on such things as phone and cable bills. The amount of revenue generated from these sources is unknown at this time.

Based upon the projected revenue and costs associated with this annexation, including the departmental needs for personnel and equipment as noted below, this annexation package is financially feasible for the City to undertake. Long-term capital projects will need to be addressed separately through the budget and CIP process.

DEMOGRAPHICS

The areas proposed for annexation consist of 272 parcels and 336 dwelling units, including apartments. The population estimate of 877 is based upon the 2020 Census average household size of 2.61 persons per dwelling unit.

DEPARTMENT REVIEW

The annexation proposal was sent out to other City departments for review, with a request for each to identify additional personnel and equipment needed to provide services to these areas. Based on the information provided the estimated increase in department costs would be \$214,554.00. Below is a summary of those comments; full responses are attached to this report.

Parks Department - one Park and open space, tree maintenance, one playground; no additional staff or equipment needed to maintain the four annexation areas. However, per Tom Woodard, Normandy Hills Park equipment and playground surface have several safety concerns. The park equipment will need to be renovated and made ADA accessible. Based on what Mr. Woodard has identified the estimated cost would be \$50,000.00 - \$70,000.00

Wastewater - infrastructure is satisfactory with minimal immediate repairs needed. Wastewater revenue would allow the department to continue to operate within its current operating margin

Street Department - additional 13.81 lane miles to maintain; increase in State Highway Allocation funding of \$112,728; 1 additional FTE personnel (\$50,000); increase in operational expenses of (\$109,502); capital expenses-one single-axle plow truck and one motor-grader (\$425,000)

Police Department - analyzed the SIDs in this annexation proposal would have a limited impact and no additional personnel or equipment needs at this time.

Fire Department - no impact. This area is already covered by the Bellevue Fire Department.

AFFECT ON ANNEXED AREAS

Areas that are annexed into the City will begin receiving City services on the effective date of the annexation. These services include street maintenance and snow removal, park maintenance (where applicable), police response, wastewater service, trash removal, free library cards, and specialized transportation services.

Property taxes

The impact of the property tax levy of the City is shown in the chart below (based upon current levy amounts). In determining future taxes, the levies for the SID and the three districts were removed and replaced with the City tax levy. Total tax amounts are impossible to predict as they are subject to changes in assessed valuations and changes in the tax levy of the various taxing jurisdictions.

<u>SID#</u>	<u>Change in levy</u>	<u>Change in property taxes per \$100,000 valuation</u>
67	0.130500	\$130.50
242	-0.069500	-\$69.50
Area #2	0.430500	\$430.50
Area #3	0.430500	\$430.50
Area #4	0.430500	\$430.50

The unincorporated lots will have a more significant increase in their property tax rates since they are not currently paying a SID tax. These parcels will see an increase of 0.430500 in the mil levy, or \$430.50 per \$100,000 of valuation.

Property tax changes will be effective for taxes assessed in 2022 and due in 2023.

Sales Taxes

City residents are required to pay City sales taxes on items delivered to their homes. This will affect people who buy items on-line or have deliveries from stores such as Nebraska Furniture Mart. The sales tax will also apply to new vehicle purchases. The City's sales tax rate is 1.5%.

Trash pick-up

The City contracts with Papillion Sanitation for residential trash pick-up in the city limits. Residents have the option of choosing 35-, 65-, or 95-gallon trash containers at a cost of \$14.10, \$17.10, or \$19.99 per month, respectively. Residential recycling and yard waste are included in the monthly charge. Billing for trash pick-up is included in the monthly MUD water/gas bill for residents and is not optional for residents. If a new resident wishes to keep his/her current trash service they may, but they will still be billed for Papillion Sanitation service on their MUD bill.

School Districts

The annexation has no effect on school district boundaries.

Post Office/Zip Code

The annexation has no effect on zip codes and which post office serves a particular area.

Planning, Zoning, Building Permits

All areas under consideration for annexation are currently within the City's extra-territorial jurisdiction and are subject to planning, zoning, and permitting requirements. Annexation will have no effect on this. Current uses of a property will be allowed to remain provided they were lawfully established.

Wastewater

Bellevue residents currently pay a minimum monthly wastewater service fee of \$18.79. Non-residents pay the City of Omaha minimum fee of \$39.18, new residents will see a monthly savings of approximately \$20.

Pets

City residents are required to license their pets through the Nebraska Humane Society. There is no change to the number of permitted household pets (three) as that regulation is in the Zoning Ordinance.

Other

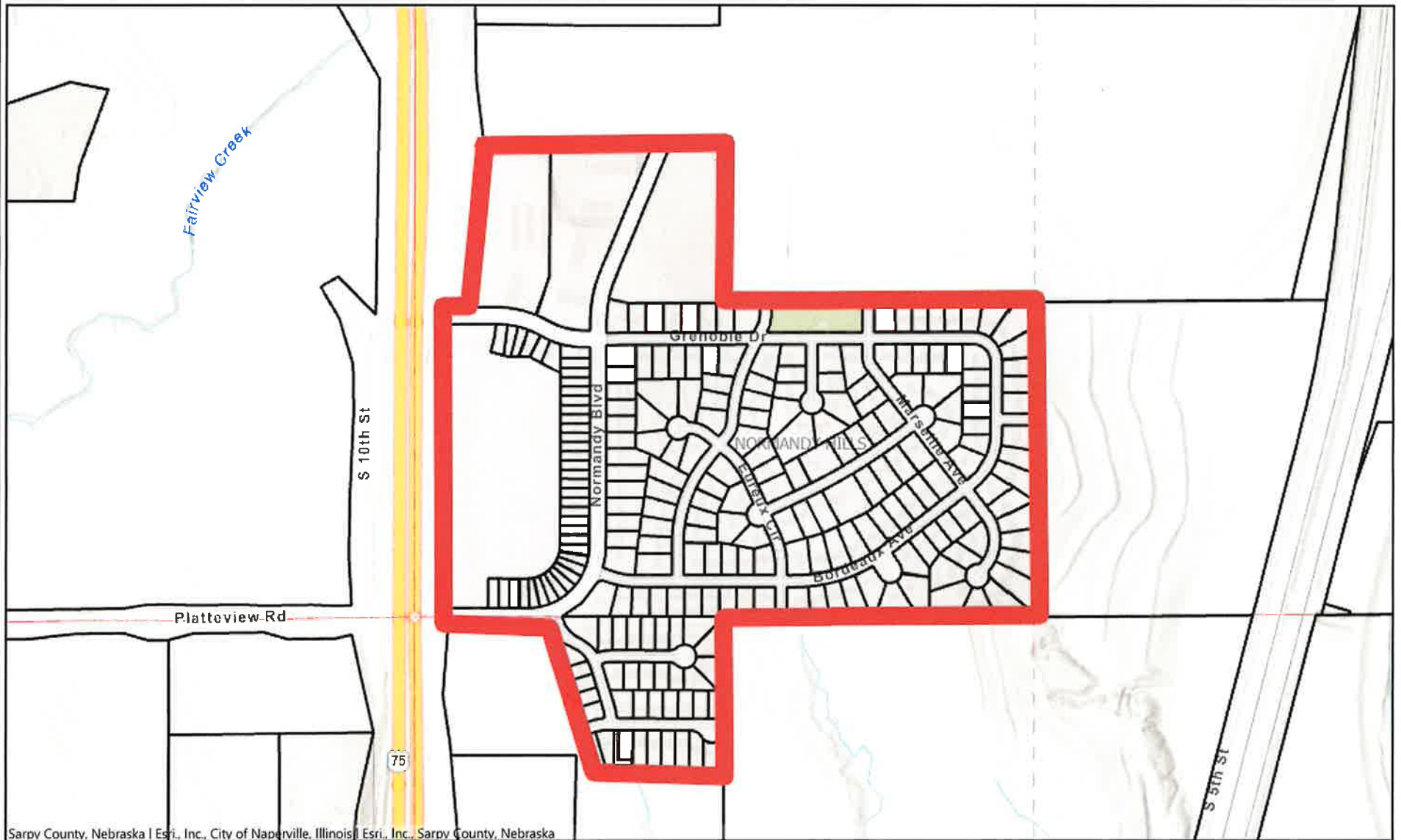
In addition to those items above, residents will be able to run for City offices and vote in local elections and be eligible to be appointed to City boards and commissions that require residency. Residents will also pay lower fees for some recreational programs and be able to get a library card free of charge.

PLANNING DEPARTMENT RECOMMENDATION

APPROVAL based upon the positive financial impact on the City and the natural growth and development of the City.

PLANNING COMMISSION RECOMMENDATION

Under Review



Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska



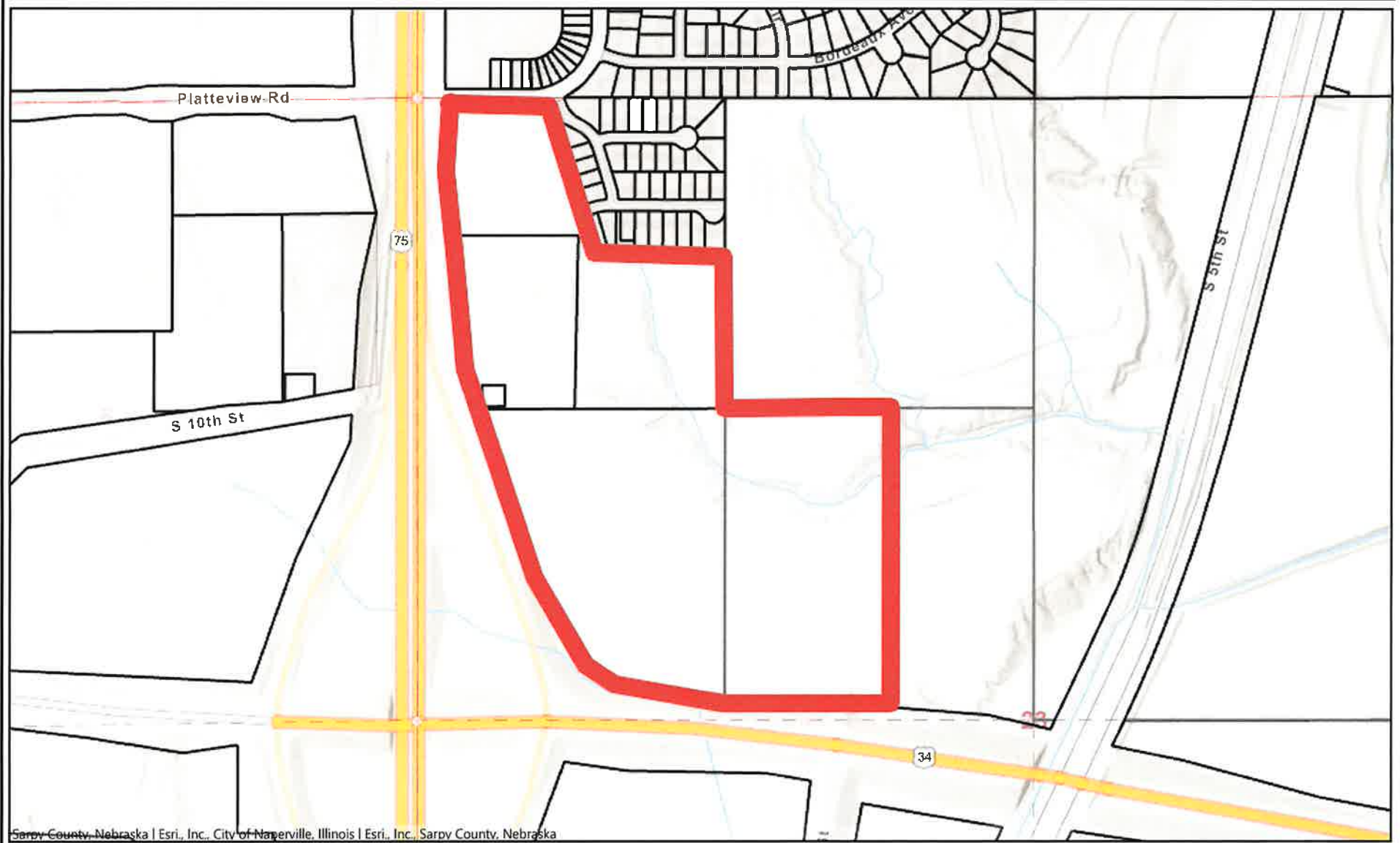
Map Scale 1: 9028

This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering, or surveying purposes. Users of this information should review or consult the source records and information sources to ascertain the usability of the information.



Notes





Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska



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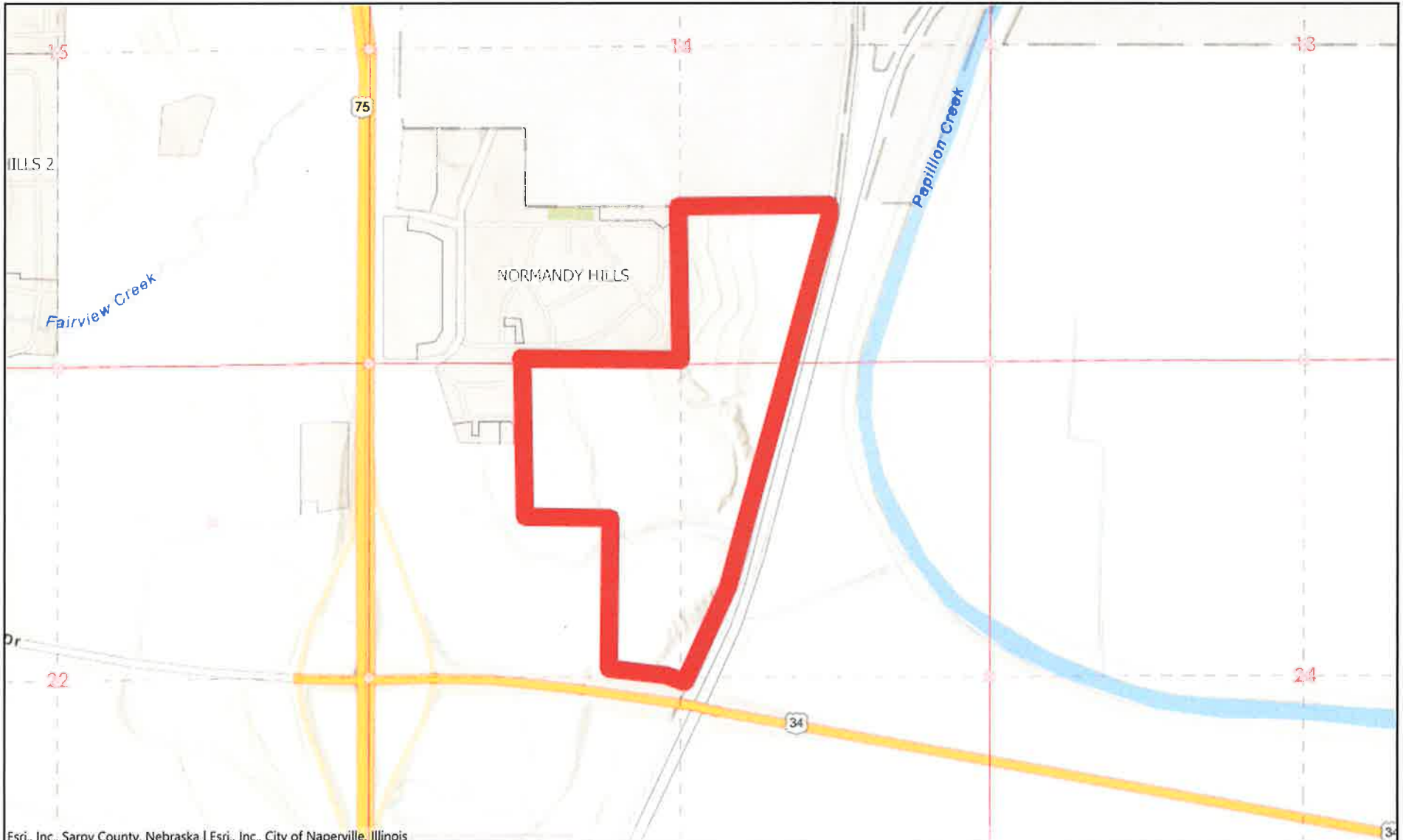
Notes





SARPY COUNTY
NEBRASKA

Annexation Area #3



Esri, Inc., Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois



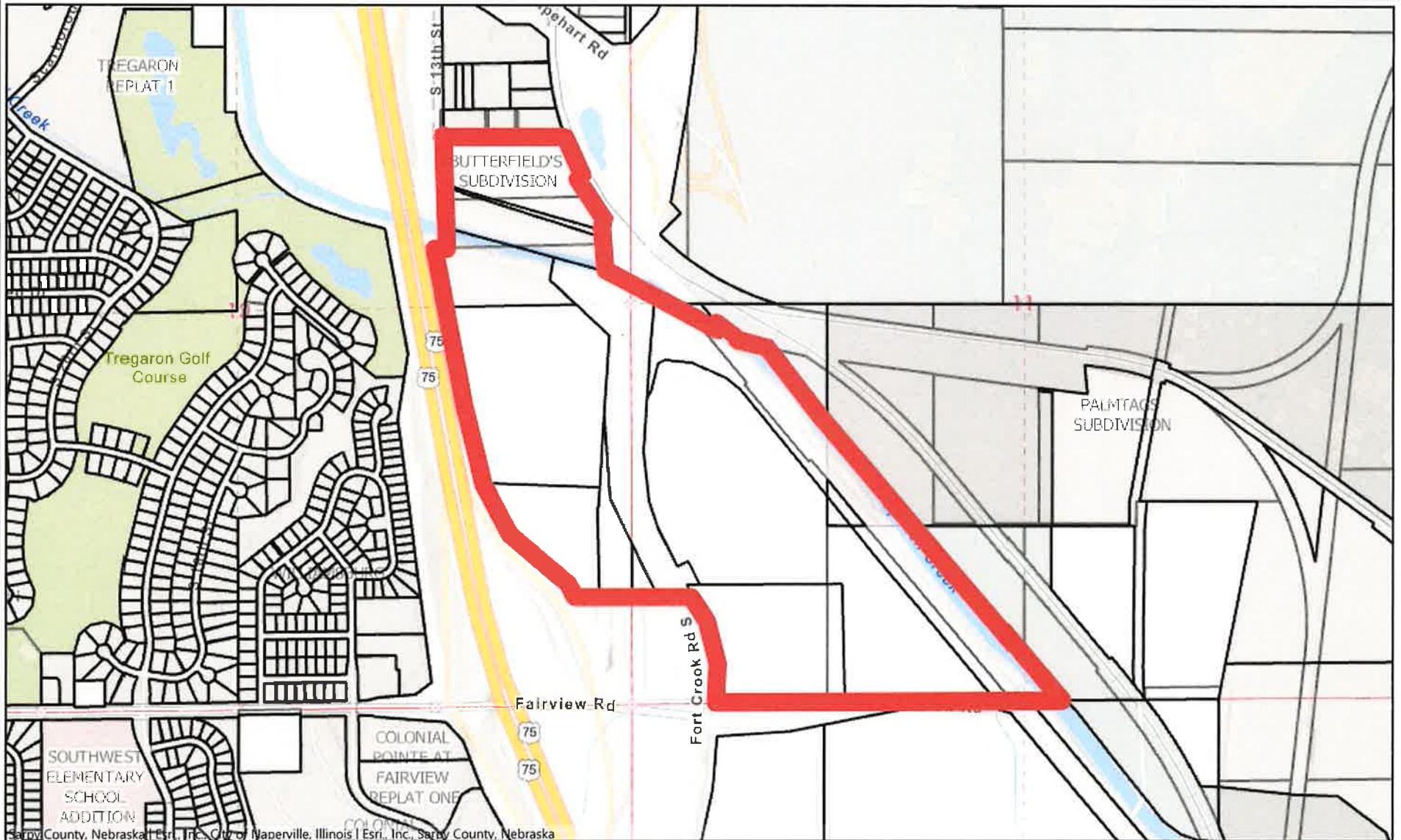
Map Scale 1: 18056

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Map Scale 1: 14274

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Notes



Annexation Area/SID #	Annexation Area/SID Name	2021 Valuation	Cash And Investments	Bonded Debt	Annual Debt Service	City Tax Levy Revenue	Tax Revenue Minus Debt Service	Increase In State Aid, Sales Tax & Other	Increase In Department Costs	Initial Incremental Increase in Cash Flow	Potential Future Capital Expenditures
67	Normandy	\$ 42,268,815	\$ 307,908	\$ -	\$ -	\$ 257,840	\$ 257,840	\$ 171,465	\$ 103,431	\$ 325,874	\$ 5,495,000
242	Cedar View	\$ 7,878,350	\$ 39,636	\$ 60,000	\$ 11,800	\$ 48,058	\$ 36,258	\$ 20,330	\$ 26,114	\$ 30,474	
Area #2	Area #2	\$ 442,378	\$ -	\$ -	\$ -	\$ 2,699	\$ 2,699	\$ 232	\$ -	\$ 2,931	
Area #3	Area #3	\$ 578,615	\$ -	\$ -	\$ -	\$ 3,530	\$ 3,530	\$ 35,420	\$ 51,706	\$ (12,756)	
Area #4	Area #4	\$ 356,805	\$ -	\$ -	\$ -	\$ 2,177	\$ 2,177	\$ 22,806	\$ 33,303	\$ (8,320)	
		\$ 51,524,963	\$ 347,544	\$ 60,000	\$ 11,800	\$ 314,304	\$ 302,504	\$ 250,253	\$ 214,554	\$ 338,203	\$ 5,495,000



City of Bellevue

Parks Department

8201 South 42nd Street • Bellevue, Nebraska 68147 • (402) 293-3122


MEMO

RECEIVED

MAR 07 2022

PLANNING DEPT.

To: Doug Clark
Tammi Palm
Angela Curry

From: Jim Shada 

Subject: Proposed Annexation Packages

Date: March 7, 2022

As per your request, after reviewing the four annexation packages, the Parks Department would not require any additional staff or equipment needs to maintain the four annexation areas. However, Normandy Hills Park equipment and playground surface has several safety concerns. Please find attached Mr. Tom Woodard's assessment. Based on what Tom has pointed out, I would estimate it would cost between \$50,000.00-\$70,000.00 to renovate the park equipment and make it ADA accessible.

Thank you,

Jim Shada
Parks & Recreation Director

information

[Tom Woodard](#)

Mon 3/7/2022 10:44 AM

To: Jim Shada <Jim.Shada@bellevue.net>;

1 attachments (4 MB)

Normandy Hills.docx;

If you need more specifics I can get that for you as needed. Let me know..Tom

**Normandy Hills
March 7, 2022**



This 2-5 playground assembly is an older unit but I did not observe any notable Safety concerns. The whole playground is covered in pea gravel which is not the best for impact safety but is acceptable.





It was released in January 1995 by the U.S. Consumer Product Safety Commission that any and all animal swings were to be removed from public playgrounds due to impact with small children.



In 2004 the CPSC banned all wood structures in public playground due to the wood rotting at the base causing potential tip over. Also standards started in 1999 will not allow swings attached to a playground assembly.





This type of swing is allowed , however the wood structure over it is not, too many areas for little ones to get hurt climbing in and around.



Climbers such as these are being replaced with modern net climbers, the possibility of strangulation on these are very high.



The spinner is in good shape as well as the picnic shelter.





There is not any ADA accessible routes from the sidewalk to the playground area.





This Park does offer a fenced in Basketball court , it might server as a tennis court as well



City of Bellevue

Waste Water Department

8902 Cedar Island Road • Bellevue, Nebraska 68147 • (402) 293-3135

To: Tammi Palm
 CC: Doug Clark
 From: Epiphany Ramos
 RE: Annexation Report Request Dated 02/17/2022 – Normandy Hills and undeveloped lots
 Date: February 28, 2022

I have reviewed the proposed annexation areas and have found the sanitary infrastructure to be satisfactory, with likely minimal pipeline repairs needed immediately. There appear to be at least two manhole structures that will require immediate repairs via confined space access. The condition of the lift station is unknown due to inability to gain access, however it was operational upon inspection. There is also approximately 500' of 4" force main that could not be inspected. Upgrades to the lift station will be needed to standardize communications and components to meet current WW Operations and Maintenance Plan objectives. Immediate intense cleaning and PACP inspection will be required upon annexation which will take approximately 2 months for my current staff to complete and will create backlog for the existing scheduled workload. Once this initial cleaning and inspection is completed, routine maintenance and scheduled capital improvement planning should begin. Our operating margin is currently at approximately 30%, we would be able to maintain this margin within these locations as well.

The below chart contains the basic information requested for these areas, Total FTE (full-time employee) required is annually. We calculate FTE based on resource load per asset unit. Used here is the total existing linear feet of pipeline, structures, and lift station assets currently maintained by the department within the O&M program model. An additional .25 FTE, and corresponding expense budget maintaining a 30% operating margin, would be required to service the annexation outlined below. Existing equipment and fleet can be utilized for routine maintenance.

	Total ft of Sanitary Pipe	Total Structures	Total Units	Est Annual Revenue	Average Remaining Life of Assets (YR)	Total FTE needed for Maint
SID	67 10761	55	238	\$ 118,209.84	75	0.08
and CedarView	500 (Force Main)	1 (Lift Station)	0	\$ -	10	0.13

RECEIVED
FEB 28 2022
PLANNING DEPT.





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

MEMORANDUM

To: Doug Clark Public Works Director
From: Bobby Riggs Street Superintendent
Subject: 2021 Annexation Package Impact Review
Date: March 7, 2022

RECEIVED

MAR 7 2022

PLANNING DEPT.

I. SID AREAS

Lane Mile Additions – 1.92 % increase over existing

- **Package, Total Lane Miles = 12.81**
 - Area 1 - #67 – Normandy Hills = 5.66 #242 – Cedar View = 0.59
 - Area 2 - No lane mile impact
 - Area 3 - Lane Miles – 3.99
 - Area 4 - Lane Miles -2.57

II. COSTS:

A. DEPARTMENT OPERATIONAL BUDGET

Required increases to for maintenance, material costs to maintain existing service levels

- i.) The Street Dept. fiscal 2021-2022 operational maintenance budget (667 lane miles) is funded at \$5,701,618.00 in total. This rate of funding breaks down to \$8,548.15 per lane mile for the department's operational expenditures. This package totals 12.81 lane miles and would require a baseline funding adjustment of 1.92 % above the current year's budgeted levels to meet annual operational needs.

***Note: This number does not factor in the request for additional staff, equipment, or regulatory sign installation in SIDs, where warranted. A reasonable assumption would be an additional year-one cost of nearly \$6,500 dollars for signs, posts, and hardware to cover the potential new areas which would be completed this fiscal year.*

Estimated year-one, base-line operational budget increase for FY21-22: \$109,471.

Mailing Address: 210 West Mission Avenue Bellevue, Nebraska 68005





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

B. C.I.P. CONSIDERATIONS (Year-one costs)

i.) MANPOWER NEEDS

Recommendation (Current + Prior Annexations, Historical Staffing Numbers)

As of year-end, fiscal 2021-21, the Street Department provided street pavement maintenance, snow removal, sign/signal maintenance and bi-annual street-sweeping on nearly 670 lane miles of roads.

The department should look to seek a staffing ratio of 1 employee per 15.00 lane miles to meet operational needs.

This package approaches the threshold to add 1 full-time employee and would be needed as the department staffing level is currently far under the ratio.

FY 2021-22 increased department Personnel cost assumption, above current levels for one full-time staff addition - \$50,000

ii.) EQUIPMENT NEEDS

To provide current levels of service during snow removal operations in the winter months, the department used thirty-four (38) pieces of equipment to clear roads in the winter last year. This averages 17.63 lane miles per unit. The proposed areas in this package would require adding one plow route for operations in the winter.

Equipment additions – One (1) single-axle plow truck, one (1) motor-grader.

Estimated first-year equipment cost to cover areas, above potential approved budget - \$425,000

iii.) AREA 3

Special consideration should be given to this area, namely the roadway and bridge conditions. Road resurfacing and significant bridge rehabilitation will cost upwards of 5 million dollars and should be programmed immediately.

C. REVENUE

i.) HIGHWAY ALLOCATION

Projected revenue increase

Highway Allocation funding is somewhat fluid and subject to change with revenue fluctuation.

Mailing Address: 210 West Mission Avenue Bellevue, Nebraska 68005





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

Revenue projections in this report are based solely on fiscal 21-22 budget forecast reduced to a per lane mile estimate.

Fiscal 2021-22 budget – \$5,871,407 for 2021 lane mile levels. This budget forecast equates to roughly \$8,800 per lane mile in revenue from the Highway Trust fund on an annual basis.

The 12-month anticipated increase to Highway Allocation revenue levels from this proposed package would be \$112,728.

Mailing Address: 210 West Mission Avenue Bellevue, Nebraska 68005



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Cc: Dave Stukenholtz; Jim Ristow
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City of Bellevue

Office of the Planning Department

Agenda items 3.c. – 3.f.

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DEPARTMENT REVIEW

The annexation proposal was sent out to other City departments for review, with a request for each to identify additional personnel and equipment needed to provide services to these areas. Based on the information provided the estimated increase in department costs would be \$214,554.00. Below is a summary of those comments; full responses are attached to this report.

Parks Department - one Park and open space, tree maintenance, one playground; no additional staff or equipment needed to maintain the four annexation areas. However, per Tom Woodard, Normandy Hills Park equipment and playground surface have several safety concerns. The park equipment will need to be renovated and made ADA accessible. Based on what Mr. Woodard has identified the estimated cost would be \$50,000.00 - \$70,000.00

Wastewater - infrastructure is satisfactory with minimal immediate repairs needed. Wastewater revenue would allow the department to continue to operate within its current operating margin

Street Department - additional 13.81 lane miles to maintain; increase in State Highway Allocation funding of \$112,728; 1 additional FTE personnel (\$50,000); increase in operational expenses of (\$109,502); capital expenses-one single-axle plow truck and one motor-grader (\$425,000)

Police Department - analyzed the SIDs in this annexation proposal would have a limited impact and no additional personnel or equipment needs at this time.

Fire Department - no impact. This area is already covered by the Bellevue Fire Department.

AFFECT ON ANNEXED AREAS

Areas that are annexed into the City will begin receiving City services on the effective date of the annexation. These services include street maintenance and snow removal, park maintenance (where applicable), police response, wastewater service, trash removal, free library cards, and specialized transportation services.

Property taxes

The impact of the property tax levy of the City is shown in the chart below (based upon current levy amounts). In determining future taxes, the levies for the SID and the three districts were removed and replaced with the City tax levy. Total tax amounts are impossible to predict as they are subject to changes in assessed valuations and changes in the tax levy of the various taxing jurisdictions.

<u>SID#</u>	<u>Change in levy</u>	<u>Change in property taxes per \$100,000 valuation</u>
67	0.130500	\$130.50
242	-0.069500	-\$69.50
Area #2	0.430500	\$430.50
Area #3	0.430500	\$430.50
Area #4	0.430500	\$430.50

The unincorporated lots will have a more significant increase in their property tax rates since they are not currently paying a SID tax. These parcels will see an increase of 0.430500 in the mil levy, or \$430.50 per \$100,000 of valuation.

Property tax changes will be effective for taxes assessed in 2022 and due in 2023.

Sales Taxes

City residents are required to pay City sales taxes on items delivered to their homes. This will affect people who buy items on-line or have deliveries from stores such as Nebraska Furniture Mart. The sales tax will also apply to new vehicle purchases. The City's sales tax rate is 1.5%.

Trash pick-up

The City contracts with Papillion Sanitation for residential trash pick-up in the city limits. Residents have the option of choosing 35-, 65-, or 95-gallon trash containers at a cost of \$14.10, \$17.10, or \$19.99 per month, respectively. Residential recycling and yard waste are included in the monthly charge. Billing for trash pick-up is included in the monthly MUD water/gas bill for residents and is not optional for residents. If a new resident wishes to keep his/her current trash service they may, but they will still be billed for Papillion Sanitation service on their MUD bill.

School Districts

The annexation has no effect on school district boundaries.

Post Office/Zip Code

The annexation has no effect on zip codes and which post office serves a particular area.

Planning, Zoning, Building Permits

All areas under consideration for annexation are currently within the City's extra-territorial jurisdiction and are subject to planning, zoning, and permitting requirements. Annexation will have no effect on this. Current uses of a property will be allowed to remain provided they were lawfully established.

Wastewater

Bellevue residents currently pay a minimum monthly wastewater service fee of \$18.79. Non-residents pay the City of Omaha minimum fee of \$39.18, new residents will see a monthly savings of approximately \$20.

Pets

City residents are required to license their pets through the Nebraska Humane Society. There is no change to the number of permitted household pets (three) as that regulation is in the Zoning Ordinance.

Other

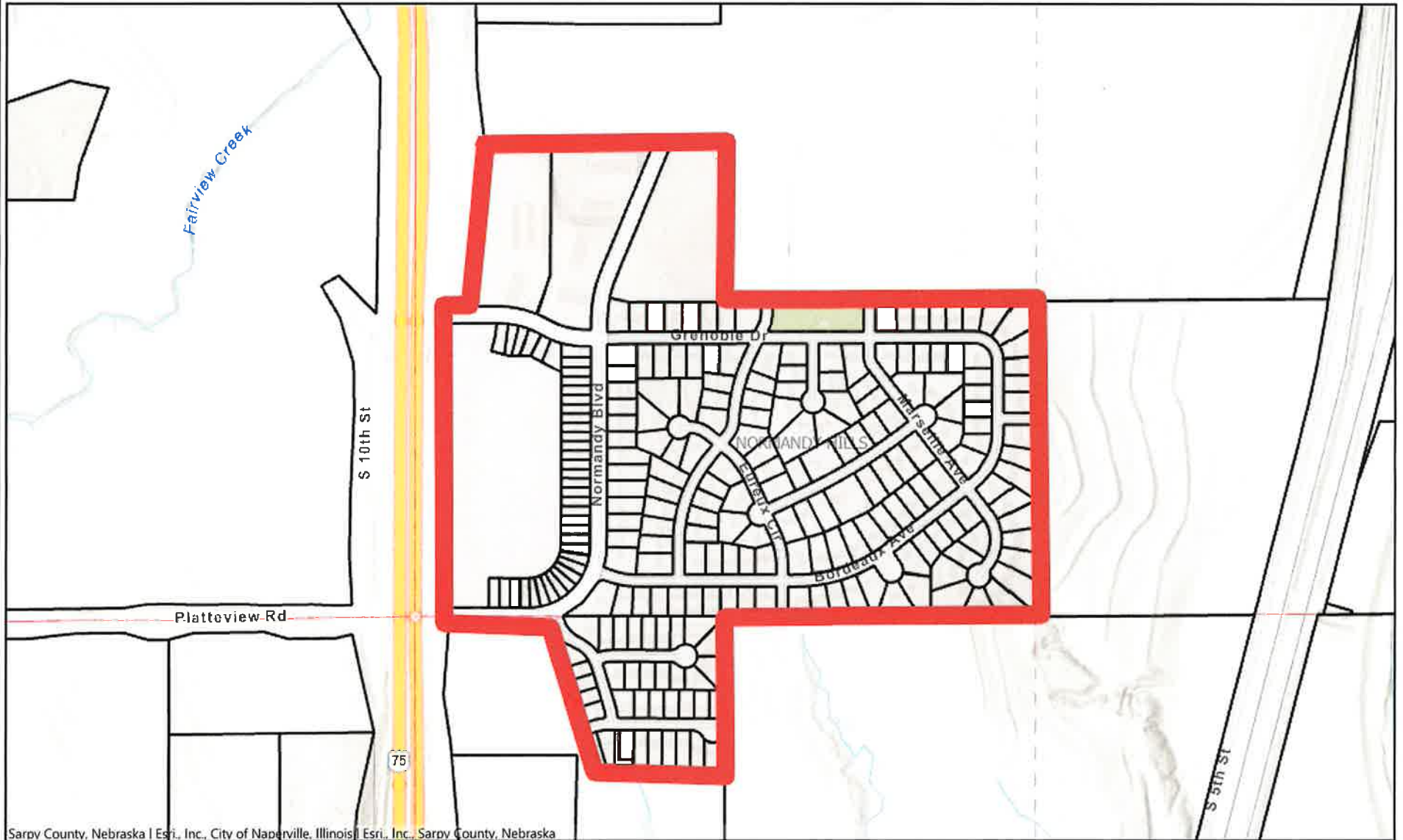
In addition to those items above, residents will be able to run for City offices and vote in local elections and be eligible to be appointed to City boards and commissions that require residency. Residents will also pay lower fees for some recreational programs and be able to get a library card free of charge.

PLANNING DEPARTMENT RECOMMENDATION

APPROVAL based upon the positive financial impact on the City and the natural growth and development of the City.

PLANNING COMMISSION RECOMMENDATION

Under Review



Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska



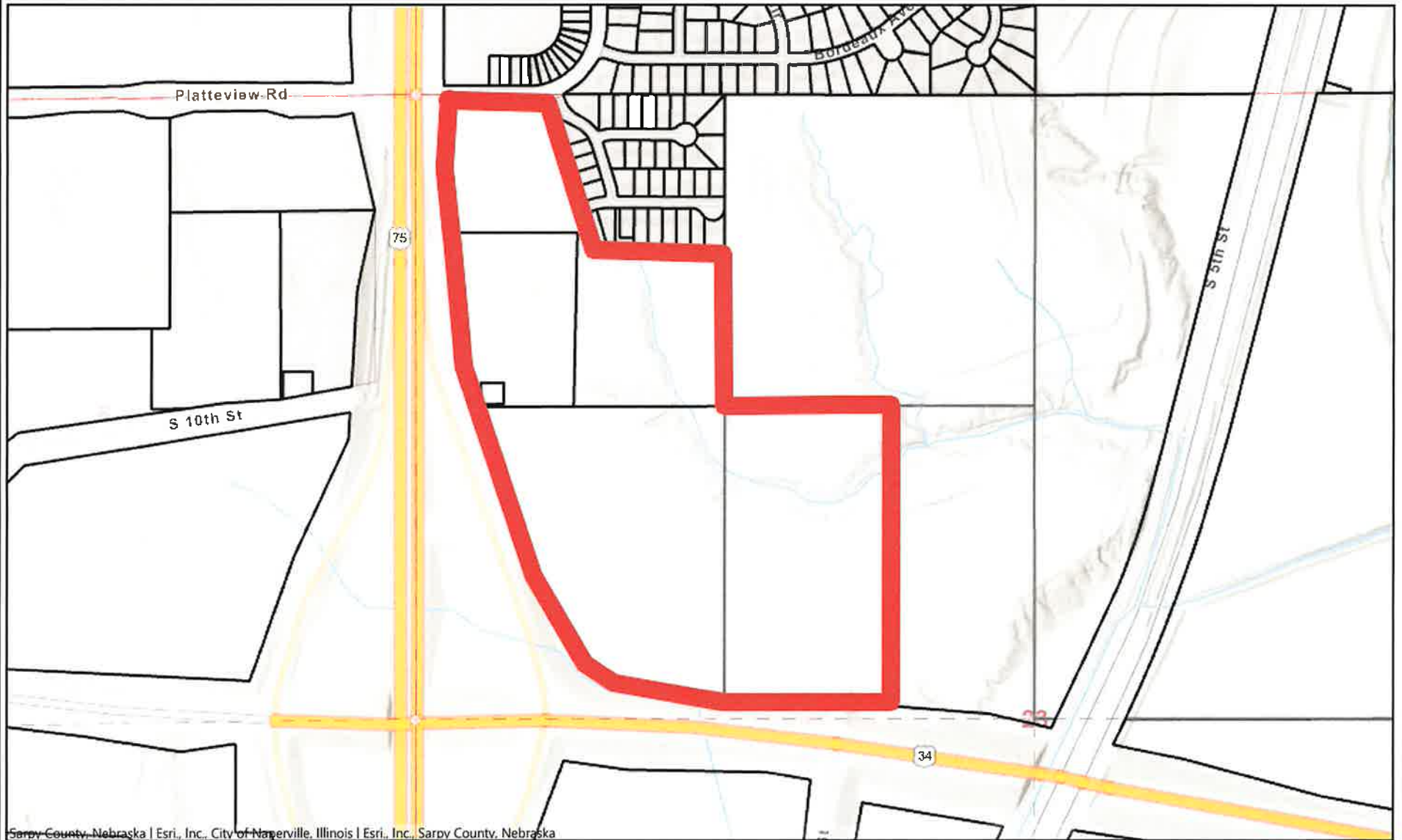
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Notes





Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois | Esri, Inc., Sarpy County, Nebraska



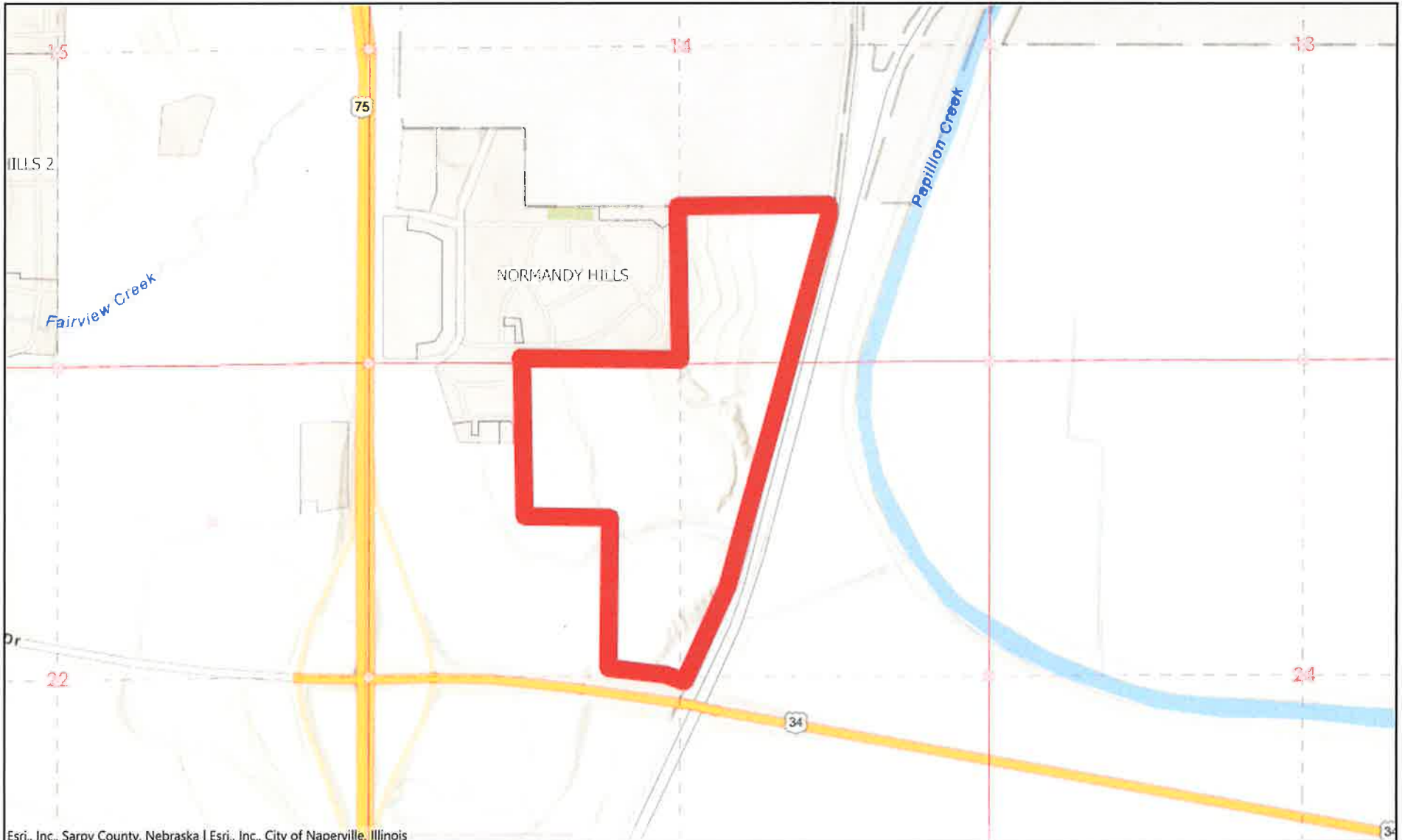
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Notes





Esri, Inc., Sarpy County, Nebraska | Esri, Inc., City of Naperville, Illinois



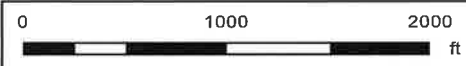
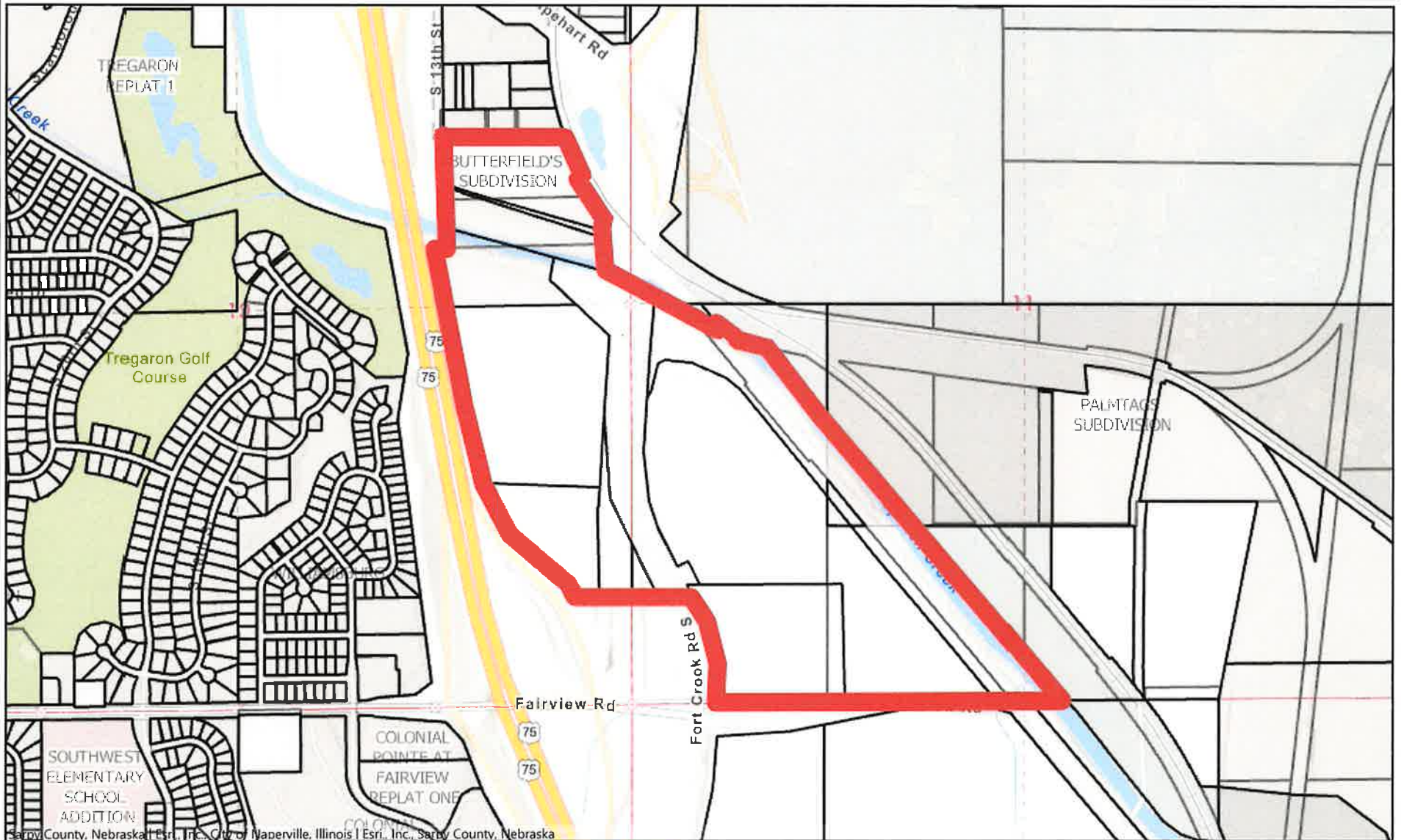
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Notes





Map Scale 1: 14274

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Notes



Annexation Area/SID #	Annexation Area/SID Name	2021 Valuation	Cash And Investments	Bonded Debt	Annual Debt Service	City Tax Levy Revenue	Tax Revenue Minus Debt Service	Increase In State Aid, Sales Tax & Other	Increase In Department Costs	Initial Incremental Increase in Cash Flow	Potential Future Capital Expenditures
67	Normandy	\$ 42,268,815	\$ 307,908	\$ -	\$ -	\$ 257,840	\$ 257,840	\$ 171,465	\$ 103,431	\$ 325,874	\$ 5,495,000
242	Cedar View	\$ 7,878,350	\$ 39,636	\$ 60,000	\$ 11,800	\$ 48,058	\$ 36,258	\$ 20,330	\$ 26,114	\$ 30,474	
Area #2	Area #2	\$ 442,378	\$ -	\$ -	\$ -	\$ 2,699	\$ 2,699	\$ 232	\$ -	\$ 2,931	
Area #3	Area #3	\$ 578,615	\$ -	\$ -	\$ -	\$ 3,530	\$ 3,530	\$ 35,420	\$ 51,706	\$ (12,756)	
Area #4	Area #4	\$ 356,805	\$ -	\$ -	\$ -	\$ 2,177	\$ 2,177	\$ 22,806	\$ 33,303	\$ (8,320)	
		\$ 51,524,963	\$ 347,544	\$ 60,000	\$ 11,800	\$ 314,304	\$ 302,504	\$ 250,253	\$ 214,554	\$ 338,203	\$ 5,495,000



City of Bellevue

Parks Department

8201 South 42nd Street • Bellevue, Nebraska 68147 • (402) 293-3122


MEMO

RECEIVED

MAR 07 2022

PLANNING DEPT.

To: Doug Clark
Tammi Palm
Angela Curry

From: Jim Shada 

Subject: Proposed Annexation Packages

Date: March 7, 2022

As per your request, after reviewing the four annexation packages, the Parks Department would not require any additional staff or equipment needs to maintain the four annexation areas. However, Normandy Hills Park equipment and playground surface has several safety concerns. Please find attached Mr. Tom Woodard's assessment. Based on what Tom has pointed out, I would estimate it would cost between \$50,000.00-\$70,000.00 to renovate the park equipment and make it ADA accessible.

Thank you,

Jim Shada
Parks & Recreation Director

information

[Tom Woodard](#)

Mon 3/7/2022 10:44 AM

To: Jim Shada <Jim.Shada@bellevue.net>;

1 attachments (4 MB)

Normandy Hills.docx;

If you need more specifics I can get that for you as needed. Let me know..Tom

**Normandy Hills
March 7, 2022**

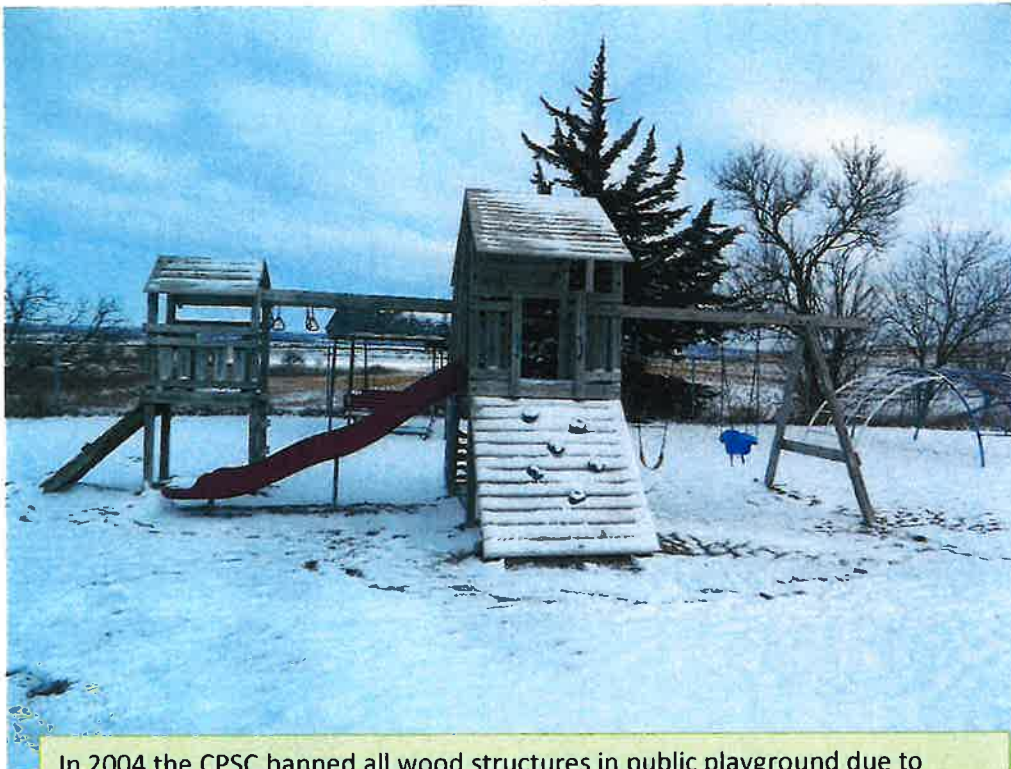


This 2-5 playground assembly is an older unit but I did not observe any notable Safety concerns. The whole playground is covered in pea gravel which is not the best for impact safety but is acceptable.





It was released in January 1995 by the U.S. Consumer Product Safety Commission that any and all animal swings were to be removed from public playgrounds due to impact with small children.



In 2004 the CPSC banned all wood structures in public playground due to the wood rotting at the base causing potential tip over. Also standards started in 1999 will not allow swings attached to a playground assembly.





This type of swing is allowed , however the wood structure over it is not, too many areas for little ones to get hurt climbing in and around.



Climbers such as these are being replaced with modern net climbers, the possibility of strangulation on these are very high.



The spinner is in good shape as well as the picnic shelter.





There is not any ADA accessible routes from the sidewalk to the playground area.





This Park does offer a fenced in Basketball court , it might server as a tennis court as well



City of Bellevue

Waste Water Department

8902 Cedar Island Road • Bellevue, Nebraska 68147 • (402) 293-3135

To: Tammi Palm
 CC: Doug Clark
 From: Epiphany Ramos
 RE: Annexation Report Request Dated 02/17/2022 – Normandy Hills and undeveloped lots
 Date: February 28, 2022

I have reviewed the proposed annexation areas and have found the sanitary infrastructure to be satisfactory, with likely minimal pipeline repairs needed immediately. There appear to be at least two manhole structures that will require immediate repairs via confined space access. The condition of the lift station is unknown due to inability to gain access, however it was operational upon inspection. There is also approximately 500' of 4" force main that could not be inspected. Upgrades to the lift station will be needed to standardize communications and components to meet current WW Operations and Maintenance Plan objectives. Immediate intense cleaning and PACP inspection will be required upon annexation which will take approximately 2 months for my current staff to complete and will create backlog for the existing scheduled workload. Once this initial cleaning and inspection is completed, routine maintenance and scheduled capital improvement planning should begin. Our operating margin is currently at approximately 30%, we would be able to maintain this margin within these locations as well.

The below chart contains the basic information requested for these areas, Total FTE (full-time employee) required is annually. We calculate FTE based on resource load per asset unit. Used here is the total existing linear feet of pipeline, structures, and lift station assets currently maintained by the department within the O&M program model. An additional .25 FTE, and corresponding expense budget maintaining a 30% operating margin, would be required to service the annexation outlined below. Existing equipment and fleet can be utilized for routine maintenance.

	Total ft of Sanitary Pipe	Total Structures	Total Units	Est Annual Revenue	Average Remaining Life of Assets (YR)	Total FTE needed for Maint
SID	67 10761	55	238	\$ 118,209.84	75	0.08
and CedarView	500 (Force Main)	1 (Lift Station)	0	\$ -	10	0.13

RECEIVED

FEB 28 2022

PLANNING DEPT.





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

MEMORANDUM

To: Doug Clark Public Works Director
From: Bobby Riggs Street Superintendent
Subject: 2021 Annexation Package Impact Review
Date: March 7, 2022

RECEIVED

MAR 7 2022

PLANNING DEPT.

I. SID AREAS

Lane Mile Additions – 1.92 % increase over existing

- **Package, Total Lane Miles = 12.81**
 - Area 1 - #67 – Normandy Hills = 5.66 #242 – Cedar View = 0.59
 - Area 2 - No lane mile impact
 - Area 3 - Lane Miles – 3.99
 - Area 4 - Lane Miles -2.57

II. COSTS:

A. DEPARTMENT OPERATIONAL BUDGET

Required increases to for maintenance, material costs to maintain existing service levels

- i.) The Street Dept. fiscal 2021-2022 operational maintenance budget (667 lane miles) is funded at \$5,701,618.00 in total. This rate of funding breaks down to \$8,548.15 per lane mile for the department's operational expenditures. This package totals 12.81 lane miles and would require a baseline funding adjustment of 1.92 % above the current year's budgeted levels to meet annual operational needs.

***Note: This number does not factor in the request for additional staff, equipment, or regulatory sign installation in SIDs, where warranted. A reasonable assumption would be an additional year-one cost of nearly \$6,500 dollars for signs, posts, and hardware to cover the potential new areas which would be completed this fiscal year.*

Estimated year-one, base-line operational budget increase for FY21-22: \$109,471.

Mailing Address: 210 West Mission Avenue Bellevue, Nebraska 68005





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

B. C.I.P. CONSIDERATIONS (Year-one costs)

i.) MANPOWER NEEDS

Recommendation (Current + Prior Annexations, Historical Staffing Numbers)

As of year-end, fiscal 2021-21, the Street Department provided street pavement maintenance, snow removal, sign/signal maintenance and bi-annual street-sweeping on nearly 670 lane miles of roads.

The department should look to seek a staffing ratio of 1 employee per 15.00 lane miles to meet operational needs.

This package approaches the threshold to add 1 full-time employee and would be needed as the department staffing level is currently far under the ratio.

FY 2021-22 increased department Personnel cost assumption, above current levels for one full-time staff addition - \$50,000

ii.) EQUIPMENT NEEDS

To provide current levels of service during snow removal operations in the winter months, the department used thirty-four (38) pieces of equipment to clear roads in the winter last year. This averages 17.63 lane miles per unit. The proposed areas in this package would require adding one plow route for operations in the winter.

Equipment additions – One (1) single-axle plow truck, one (1) motor-grader.

Estimated first-year equipment cost to cover areas, above potential approved budget - \$425,000

iii.) AREA 3

Special consideration should be given to this area, namely the roadway and bridge conditions. Road resurfacing and significant bridge rehabilitation will cost upwards of 5 million dollars and should be programmed immediately.

C. REVENUE

i.) HIGHWAY ALLOCATION

Projected revenue increase

Highway Allocation funding is somewhat fluid and subject to change with revenue fluctuation.

Mailing Address: 210 West Mission Avenue Bellevue, Nebraska 68005





City of Bellevue

Street Department

206 Industrial Dr • Bellevue, Nebraska 68005 • (402) 293-3126

Revenue projections in this report are based solely on fiscal 21-22 budget forecast reduced to a per lane mile estimate.

Fiscal 2021-22 budget – \$5,871,407 for 2021 lane mile levels. This budget forecast equates to roughly \$8,800 per lane mile in revenue from the Highway Trust fund on an annual basis.

The 12-month anticipated increase to Highway Allocation revenue levels from this proposed package would be \$112,728.

Mailing Address: 210 West Mission Avenue Bellevue, Nebraska 68005



Tammi Palm

From: Ken Clary
Sent: Wednesday, March 9, 2022 9:23 AM
To: Tammi Palm
Cc: Dave Stukenholtz; Jim Ristow
Subject: RE: proposed annexation packages

Tammi,

I apologize for the delay. At this time the impact would be limited regarding the proposed annexations. The only currently populated area of the annexations is Normandy Hills. Sarpy County shows 213 total calls for service in that area over the previous year. I believe our District 712 or 742 cars could absorb those calls over the short term. I will add the caveat that – as this area is built-out and we annex more area around Hwy 34 and Hwy 75, that will likely need to be added as a stand-alone district (adding the need for four additional officers). Talking to Mark, that will likely be in the timeline of 2024 or 2025. So, to summarize, the current impact would be negligible and we will discuss further with future annexations in that area.

KC

From: Tammi Palm <Tammi.Palm@bellevue.net>
Sent: Wednesday, March 9, 2022 8:40 AM
To: Ken Clary <ken.clary@bellevue.net>
Subject: FW: proposed annexation packages

Hi Chief,

Just a reminder – can I get your comments on these proposed annexations? We're putting our report together and I want to make sure I have any Police needs documented.

Thanks!

Best regards,

Tammi Palm

Planning Manager
City of Bellevue
1510 Wall Street
Bellevue, NE 68005
(402) 293-3038

From: Tammi Palm
Sent: Thursday, February 17, 2022 10:45 AM
To: Mark Elbert <mark.elbert@bellevue.net>; Doug Clark <doug.clark@bellevue.net>; Ashley Decker <ashley.decker@bellevue.net>; Susan Kluthe <Susan.Kluthe@bellevue.net>; Julie Dinville <Julie.Dinville@bellevue.net>; Perry Guido <Perry.Guido@bellevue.net>; Ken Clary <ken.clary@bellevue.net>
Cc: Richard Severson <richard.severson@bellevue.net>; 'Angela Curry' <angela.curry@bellevue.net>; Bree Robbins <bree.robbins@bellevue.net>
Subject: proposed annexation packages

Tammi Palm

From: Gifford, Donald (235)
Sent: Tuesday, February 22, 2022 6:23 AM
To: Tammi Palm
Cc: Guido, Perry
Subject: FW: proposed annexation packages
Attachments: Annex Area 1 GIS Map.pdf; Annex Area 2 GIS map.pdf; Annex Area 3 GIS Map.pdf; Annex Area 4 GIS Map.pdf

Tami,

Chief Guido ask me to investigate this, there is no impact to the fire department due to the fire department already covers the areas in the proposed annexation package.

Donald Gifford
Battalion Chief
City of Bellevue Fire Department
Inspections Bureau
Email Donald.gifford@bellevue.net
Phone 402-682-6630
Cell 402-515-8545

From: Tammi Palm <Tammi.Palm@bellevue.net>
Date: February 17, 2022 at 10:44:45 AM CST
To: Mark Elbert <mark.elbert@bellevue.net>, Doug Clark <doug.clark@bellevue.net>, Ashley Decker <ashley.decker@bellevue.net>, Susan Kluthe <Susan.Kluthe@bellevue.net>, Julie Dinville <Julie.Dinville@bellevue.net>, Perry Guido <Perry.Guido@bellevue.net>, Ken Clary <ken.clary@bellevue.net>
Cc: Richard Severson <richard.severson@bellevue.net>, Angela Curry <angela.curry@bellevue.net>, Bree Robbins <bree.robbins@bellevue.net>
Subject: proposed annexation packages

Good morning,

The city is proposing four annexation packages to be heard at our March 24 Planning Commission meeting. I have attached maps of each area. Please distribute amongst your departments as necessary and please provide detailed impact information (i.e. additional staff needs, equipment, etc.) back to me by **March 7**.

Please breakdown your impacts per proposed annexation area if possible and as applicable, as we will look at each of these areas separately through the public hearing process.

Please let me know if you have any questions.

Thanks!