

Agenda of Regular Meeting

The Board of Trustees Seguin ISD

A Regular Meeting of the Board of Trustees of Seguin ISD will be held May 20, 2025, beginning at 6:30 PM in the Board Room, 1221 E Kingsbury, Seguin, TX 78155.

The subjects to be discussed or considered or upon which any formal action may be taken are as listed below. Items do not have to be taken in the order shown on this meeting notice.

1. **Call to Order**

- A. Announcement that this meeting of the Seguin Independent School District has been duly called and that notice of this meeting has been posted in accordance with the Texas Open Meetings Act, Section 551.043 of the Texas Government Code.
- B. Pledges to the United States Flag and Texas Flag. Moment of silence.
- C. Superintendent Announcements
- D. Board Member Reports

2. **Recognition/Campus Presentations**

- A. Student/Staff/Board/Community Recognition 4
- B. Campus Highlight 5

3. **Audience with the Board**

The Seguin ISD Board of Trustees designates a time for audience participation at the beginning of each meeting to hear persons who desire to make comments. In accordance with Board Policy BED(Local):

- A. Those wishing to speak shall sign up before the meeting begins stating the concern or noting the agenda item they wish to address; audience participation is limited to five minutes; the Board shall not deliberate any subject that is not on the posted agenda.

4. **Reports/Information Items:**

- A. Personnel Information - Professional Employees 6
- B. Matador Special Services Department (MSSD) Self-Contained Classroom Information 10
- C. Notice of Intent to Apply for Federal Grants 31
- D. Seguin Independent School District Purchasing Cooperative Management Fees Report 2024-2025 34
- E. Budget Presentation 36
- F. Financial Statements for March 2025 58
- G. New Vendors 63
- H. Purchases made over \$50,000 65

I.	Discussion of Status of A.J. Briesemeister Middle School Construction Project	67
5.	Action Items:	
A.	Approval of GCAD Guadalupe County Appraisal District Resolution Regarding Acquisition and Renovation of Mary B. Erskine Building	68
B.	Request for Waivers	233
6.	Closed Session: Board will adjourn into closed session pursuant to the following sections of the Texas Open Meetings Act	
A.	Pursuant to Texas Government Code Section §§§ 551.071, 551.074, 551.129 - Consultation with legal counsel including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.	
B.	Pursuant to Texas Government code Sections § 551.074 - Consultation with legal counsel regarding legal issues related to the A.J. Briesemeister construction project.	
C.	Pursuant to Texas Government Code Section § 551.074 - Discuss personnel matters, including appointment, employment, evaluation, reassignment, duties, discipline or dismissal of a employee(s).	
D.	Pursuant to Texas Government Code Section § 551.072 - Discuss the sale, purchase, exchange, lease, or value of real property.	
E.	Pursuant to Texas Government code Sections § 551.0821 - Deliberation regarding public school student.	
7.	Reconvene to Open Meeting, the Board will take appropriate action on items, if necessary, as discussed in Closed Session	
A.	Possible action on professional personnel, including appointment, employment, evaluation, assignment, duties, discipline or dismissal of a public employee(s).	
8.	Consent Agenda Items - Consider and Possible Approval as Applicable Policy BE (Local) states that the consent agenda shall include items of a routine and/or recurring nature grouped together under one action item. All such items shall be acted upon by one vote without separate discussion, unless a Board Member requests that an item be withdrawn for individual consideration. The remaining items shall be adopted under a single motion and vote as applicable.	
A.	Approval of Board Minutes of Special Meeting - April 17, 2025, Regular Meeting - April 22, 2025, and Special Meeting - May 9, 2025.	234
B.	Approval of Tax Collection Reports for April 2025	246
C.	Approval of Donations Received April 2025	247
D.	Approval of Agreement with Texas Association of School Boards for Workers' Compensation Coverage and Property, Liability, and Fleet Insurance for the period July 1, 2025, through June 30, 2026	249
E.	Approval of Credit by Exam Dates for 2025-2026	250
9.	Action Items	
A.	Personnel Action - Professional Employees	251
	9.A.1. District Math Coordinator	

9.A.2. Seguin High School Principal	
9.A.3. Fine Arts Coordinator	
9.A.4. Transition Coordinator	
9.A.5. Director of Human Resources	
B. 2025-2026 Stipend Schedule Recommendation	252
C. Approval of Seguin ISD Depository Services (RFP #: 25-05)	265
10. Board Comments and Request	
11. Adjourn	

RECOGNITION ITEM: **Student/Staff/Board/Community Recognition**

RECOMMENDATION: That the Board of Trustees recognizes the positive accomplishments of students, staff, trustees, and community partners during a board meeting to be apprised of the many successes that contribute to a nurturing academic environment in Seguin ISD schools.

- **Superintendent’s Student Advisory Team**
- **Seguin High School Spring 2025 Associate Degree recipients**
- **One-Act Play and Matador Theatre**
- **Seguin High School 2025 UIL 5A State Track & Field Championship Meet competitors**
- **Superintendent’s Students of the Month from Koennecke Elementary School, Weinert Elementary School, Briesemeister Middle School, and Seguin High School**
- **Luke Patranella**
- **Superintendent’s Apple Award**

RATIONALE: The purpose of this presentation is to recognize the performance and effort put forth daily by Seguin ISD students, trustees, staff, campus administrators, and community partners.

REFERENCE and COMPLIANCE: BJA (LOCAL) Superintendent: Qualifications and Duties

PAPERWORK IMPACT: None

BUDGET IMPACT/ INFORMATION: None

EXHIBITS: None

RESOURCE PERSONNEL: Dr. Veronica Vijil, Superintendent
Emily Allen, Director of Communications

Submitted by:
 (Name) Dr. Veronica Vijil, Superintendent
 (Address) 1221 E. Kingsbury St., Seguin, TX 78155
 (Telephone) (830) 401-8614
 (Date) 05/20/25

RECOGNITION ITEM: **Campus Highlight**

RECOMMENDATION: That the Board of Trustees recognizes positive campus-based activities, initiatives, and accomplishments during a board meeting in order to be apprised of the many activities that contribute to a nurturing academic environment in Seguin ISD schools.

Tonight's presentation is provided courtesy of McQueeney Elementary. Principal Trisha Eckols and team will explain how Great Expectations is igniting a transformation at McQueeney, fostering a culture of respect, responsibility, academic excellence, and shaping a positive, empowering campus environment for every student and educator.

RATIONALE: The purpose of this presentation is to recognize the performance and effort put forth daily by Seguin ISD students, staff, and campus administrators. Campuses will have the opportunity to share an example of an activity that fosters academic achievement and refines instructional focus during 2024-25 regular board meetings.

REFERENCE and COMPLIANCE: BJA (LOCAL) Superintendent: Qualifications and Duties

PAPERWORK IMPACT: None

BUDGET IMPACT/ INFORMATION: None

EXHIBITS: None

RESOURCE PERSONNEL: Emily Allen, Director of Communications

Submitted by:
 (Name) Dr. Veronica Vijil, Superintendent
 (Address) 1221 E. Kingsbury St., Seguin, TX 78155
 (Telephone) (830) 401-8614
 (Date) 05/20/25

INFORMATION ITEM: Personnel Information - Professional Employees

RECOMMENDATION: The Board of Trustees recognizes and acknowledges the new professional hires for the 2025–2026 school year and the resignations listed below.

**FOR BOARD’S
ACKNOWLEDGMENT
ELECTIONS:
PROFESSIONALS:**

Name	Location	Title	Effective Date
Gonzalez Cardona, Vanessa	Rodriguez Elementary	4th Gr ELAR/ Social Studies Teacher	08/01/25
*Hudson, Shena	McQueeney Elementary	Essential Academics Teacher	08/01/25
Kelly, Meredith	Rodriguez Elementary	Essential Academics Teacher	08/01/25
Luck, Haylee	Vogel Elementary	Teacher	08/01/25
*Paz Ramos, Ingrid	Rodriguez Elementary	Kindergarten Teacher	08/01/25

*returning employee

**BOARD’S
ACKNOWLEDGEMENT
RESIGNATIONS:**

Annas, Jenna, Matador Special Services, effective 5/29/25

Ms. Annas, Speech Therapist, has resigned due to personal reasons. Ms. Annas has 8 years with Seguin ISD.

Bettters, Dena, Jefferson Elementary, effective 5/29/25

Ms. Bettters, Special Education Teacher, has resigned due to relocation. Ms. Bettters has 4 years with Seguin ISD.

Brusenhan, Jennifer, Rodriguez Elementary, effective 6/3/25

Ms. Brusenhan, Librarian, has resigned to work for another school district. Ms. Brusenhan has 7 years with Seguin ISD.

DiMatteo, Samantha, Seguin High School, effective 5/29/25

Ms. DiMatteo, Assistant Band Director, has resigned due to other employment. Ms. DiMatteo has 6 years with Seguin ISD.

Donsbach, Connie, Seguin High School, effective 12/31/25

Ms. Donsbach, Counselor, has resigned and elected to retire. Ms. Donsbach has 24 years with Seguin ISD.

Donley, John, Seguin High School, effective 5/30/25

Mr. Donley, Science Teacher, has resigned due to other employment. Mr. Donley has 1 year with Seguin ISD.

Flores, Maximilian, Human Resources Department, effective 5/23/25

Mr. Flores, Executive Director of Human Resources, has resigned to work for another school district.

Mr. Flores has 5 months with Seguin ISD.

Garcia, Charles, Seguin High School, effective 5/29/25

Mr. Garcia, PE Teacher, has resigned and elected to retire.

Mr. Garcia has 18 years with Seguin ISD.

Garcia, Valerie, Jefferson Elementary, effective 5/29/25

Ms. Garcia, 4th Grade Science Teacher, has resigned due to other employment.

Ms. Garcia has 6 years with Seguin ISD.

Hastings, Don, Mercer-Blumberg Learning Center at Saegert, effective 6/30/25

Dr. Hastings, Principal, has resigned due to other employment.

Dr. Hastings has 21 years with Seguin ISD.

Hawthorne, Brixx, Seguin High School, effective 5/29/25

Mr. Hawthorne, Social Studies Teacher, has resigned to work for another school district.

Mr. Hawthorne has 2 years with Seguin ISD.

Hollowell, Cory, Jim Barnes Middle School, effective 5/29/25

Mr. Hollowell, PE Teacher, has resigned due to personal reasons.

Mr. Hollowell has 3 years with Seguin ISD.

Lanford, Kelly, A.J. Briesemeister Middle School, effective 5/29/25

Ms. Lanford, 6th Grade Science Teacher, has resigned due to other employment.

Ms. Lanford has 11 years with Seguin ISD.

Lindenberg, Karen, Weinert Elementary, effective 5/29/25

Ms. Lindenberg, Teacher, has resigned and elected to retire.

Ms. Lindenberg has 22 years with Seguin ISD.

Love, Kenneth, Seguin High School, effective 5/29/25

Mr. Love, Social Studies Teacher, has resigned due to family reasons.

Mr. Love has 1 year with Seguin ISD.

Martin, Halcy, Matador Special Services Department, effective 6/30/25

Ms. Martin, Director of Special Education, has resigned due to personal reasons.

Ms. Martin has 9 years with Seguin ISD.

Mauldin, Daniel, Discipline Alternative School at Saegert, effective 5/29/25

Mr. Mauldin, Social Studies Teacher, has resigned and elected to retire.

Mr. Mauldin has 1 year with Seguin ISD.

Miller, Winona, Seguin High School, effective 5/26/25

Ms. Miller, Registered Nurse, has resigned due to personal reasons.

Ms. Miller has 1 year with Seguin ISD.

Nutt, Jennifer, Jim Barnes Middle School, effective 5/29/25

Ms. Nutt, Art Teacher, has resigned due to personal reasons.

Ms. Nutt has 1 year with Seguin ISD.

Roberts, Travis, Jim Barnes Middle School, effective 5/29/25

Mr. Roberts, Boys Athletic Coordinator, has resigned due to other employment.

Mr. Roberts has 3 years with Seguin ISD.

Rodriguez, Suzanne, Patlan Elementary, effective 5/29/25

Ms. Rodriguez, Teacher, has resigned due to other employment.

Ms. Rodriguez has 10 years with Seguin ISD.

Samsen, Bradley, Seguin High School, effective 5/29/25

Mr. Samsen, Percussion Director, has resigned due to personal reasons.

Mr. Samsen has 6 years with Seguin ISD.

Voumard, Haley, Vogel Elementary, effective 5/29/25

Ms. Voumard, Kindergarten Teacher, has resigned due to personal reasons.

Ms. Voumard has 1 year with Seguin ISD.

Walker, Hunter, McQueeney Elementary, effective 5/29/25

Mr. Walker, 5th Grade Teacher, has resigned due to personal reasons.

Mr. Walker has 2 years with Seguin ISD.

Wilder, Ronda, Weinert Elementary, effective 5/29/25

Ms. Wilder, 3rd Grade RLA Teacher, has resigned due to relocation.

Ms. Wilder has 1 year with Seguin ISD.

RATIONALE:

Strategic Goal 4: Seguin ISD will improve student, parent, and staff satisfaction as determined by the Gallup Poll.

REFERENCE and COMPLIANCE:

DC (LEGAL), DC (LOCAL), Employment Practices

BUDGET IMPACT/ INFORMATION:

None

PAPERWORK

IMPACT:

This item will result in follow-up communication with the employee.

EXHIBITS:

Personnel Information

RESOURCE

PERSONNEL:

Joel S. Treviño, Chief Human Resources Officer

Submitted by:

(Name)

Dr. Veronica Vijil, Superintendent

(Address)

1221 E. Kingsbury St., Seguin, TX 78155

(Telephone)

(830) 401-8614

(Date)

05/20/25

INFORMATION ITEM: **Matador Special Services Department (MSSD) Self-Contained Classroom Information**

RECOMMENDATION: That the Board of Trustees receives information on Special Education Self-Contained Classrooms.

RATIONALE: The purpose of this information is to show the breakdown of number of students by grade level, the locations of self-contained classrooms, an explanation of curriculum used, and how data is tracked for elementary, middle, and high school levels.

REFERENCE and COMPLIANCE: EHBA (Legal) Special Programs: Special Education. EHBAA (Legal) Equal Education Opportunity, EHBAB (Legal) Special Education Identification, Evaluation and Eligibility, FB (Legal) Special Education: ARD Committee and Individualized Education Program

BUDGET IMPACT INFORMATION: None

EXHIBITS: Presentation

RESOURCE PERSONNEL: Dawn Lynn, Special Education Coordinator – Instructional
Allison Higginbotham, Special Education Coordinator – Compliance
Rachel Bloxham, Program Supervisor - Instructional
Monica Lyons, Chief Academic Officer

Submitted by:
(Name) Dr. Veronica Vijil, Superintendent
(Address) 1221 E. Kingsbury St., Seguin, TX 78155
(Telephone) (830) 401-8614
(Date) 05/20/25

Specialized Support Settings

Matador Special Services:
Rachel Bloxham
Dawn Lynn

Self Contained Educational Settings

- Data driven decisions agreed upon by the ARD committee for student placement proposals to provide the Least Restrictive Environment to address academic and functional needs based upon individual student
- Elementary campuses align with “sister schools” as not all campuses have self contained educational settings. Preschool campus and all secondary campuses have self contained educational settings
- Recommended classroom ratios for Essential Academics classrooms in Seguin ISD is 1:3, unless otherwise stated in the student’s IEP

ECSE and Elementary Student Enrollment

Campus	# of self-contained students 24-25	# of self-contained students 25-26 projected
Ball Early Childhood Center	15	10

Campus	# of self-contained students 24-25	# of self-contained students 25-26 projected
Jefferson Elementary	25	18
McQueeney Elementary	18	11
Rodriguez Elementary	20	14
Weinert Elementary	24	16
Total # of students	87	59

Secondary Student Enrollment

Campus	# of self-contained students 24-25	# of self-contained students 25-26 projected
AJ Briesemeister Middle School	17	15
Jim Barnes Middle School	17	16
Total # of students	34	31

Campus	# of self-contained students 24-25	# of self-contained students 25-26 projected
Seguin High School	45	48

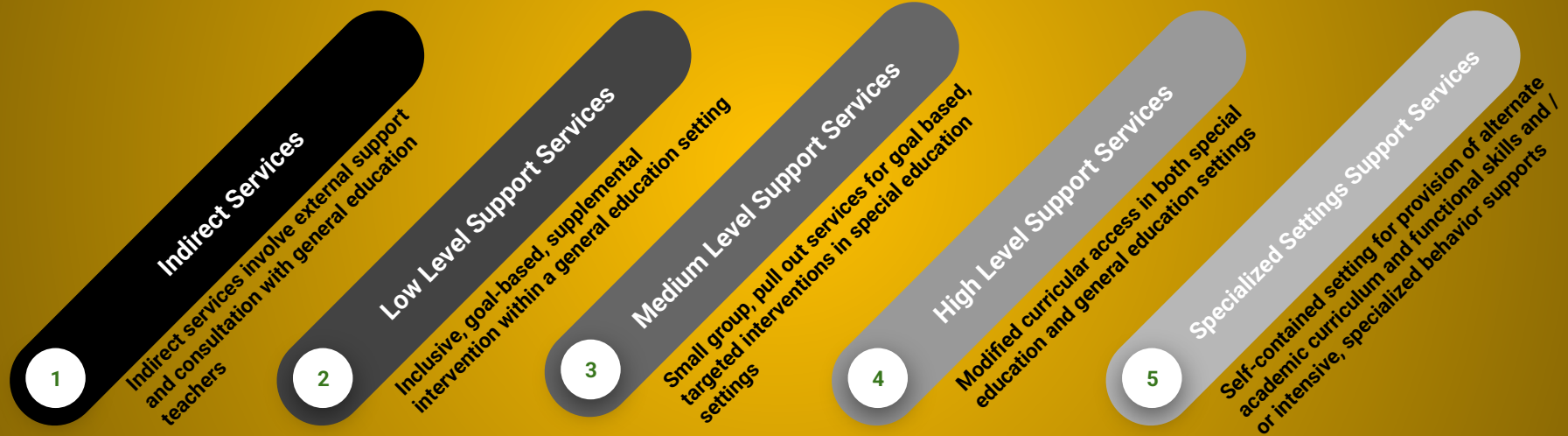
2025-2026 School Year Projections

- Proposed moves of 15-20 students from self-contained setting to hybrid support - pending ARD committee determinations
- 8 elementary students returning to home campus in Luling ISD for instruction
 - Previously served at they Weinert Elementary campus
 - Part of our Multi-County Education Services partnership
- Large number of 5th grade students moving to Middle School settings

Levels of Support Model

Students receive individualized support in varying settings based on their IEP determinations agreed upon by the ARD committee

Goal aligned supports for students include:



Levels of support are determined through data review, progress monitoring, and an evaluation of the least restrictive environment needed to allow student access to the general education curriculum

Self Contained Setting

**Specialized Settings Support
Services**

**Self-contained setting for provision of alternate
academic curriculum and functional skills and / or
intensive, specialized behavior supports**

Curriculum Considerations

Difference Between Alternate Curriculum and Modified Curriculum

Alternate Curriculum and Modified Curriculum are both educational strategies used to support students with special needs, but they differ in purpose, content, and alignment with grade-level standards.

Alternate Curriculum:

- Definition: A curriculum designed for students with significant cognitive disabilities who are unable to access the general education curriculum even with accommodations.
- Focus: Life skills, functional academics, communication, social, and self-care skills.
- Alignment: Not based on grade-level standards directly, but focuses on prerequisite and foundational skills derived from those standards.
- Typically our self contained/Essential Academic units are the only place we utilize an alternate curriculum
- Example:
 - A high school student with a severe intellectual disability learning how to use public transportation, count money, or follow a daily routine instead of participating in a standard algebra class.

Curriculum Considerations

Modified Curriculum:

- Definition: A version of the general education curriculum that is adjusted to meet the student's instructional level while still being related to grade-level content.
- Focus: Academic content, but at a reduced level of difficulty or complexity.
- Alignment: Still aligned with general education standards, though expectations and assessments are modified.
- Example:
 - A student with a learning disability receives a modified reading assignment that includes simpler vocabulary and shorter passages while still covering the same literary themes as the rest of the class.

Seguin ISD Alternate Curriculum

Our district utilizes ULS – **Unique Learning System** as the primary alternate curriculum. ULS supports students PRE K through our Transition 18+ program and helps them access the TEKS (Texas Essential Knowledge and Skills) through prerequisite skills tailored to individual needs.

Each band is divided into 3 levels:





- Level 3 Learners – can read text and can participate more independently in the lesson (**independent**)
- Level 2 Learners- require pictorial support and require mild to moderate support to participate in the lesson (**supported**)
- Level 1 Learners- require extensive supports to participate in the lesson. (**participatory**)

Implementing an alternate curriculum allows us to meet students where they are, building foundational skills at their own pace without rushing progression. Our primary focus is on each student's individualized IEP goals, supported through consistent data collection and progress monitoring.

Unique Learning System Examples

Number Sense 41, Level 3
Subtracting to 10 Vertical

Name: _____

<p>Emily has 6 violins.</p> 	<div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto;"></div> <div style="text-align: center;">-</div> <div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto;"></div> <hr style="width: 80%; margin: 0 auto;"/> <div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto;"></div>
<p>She puts away 4 violins.</p> <p>X cross off</p>	
<p> How many are left?</p>	
<p>Chris has 9 drums.</p> 	<div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto;"></div> <div style="text-align: center;">-</div> <div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto;"></div> <hr style="width: 80%; margin: 0 auto;"/> <div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto;"></div>
<p>He gives away 5 drums.</p> <p>X cross off</p>	
<p> How many are left?</p>	





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INTERMEDIATE, Unit 27
Lesson 16c, Level 3

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Number Sense 41, Level 2
Subtracting to 10 Vertical

Name: _____

<p>Emily has 6 violins.</p> 	<div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto; text-align: center;">6</div> <div style="text-align: center;">-</div> <div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto; text-align: center;">4</div> <hr style="width: 80%; margin: 0 auto;"/> <div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto;"></div>
<p>She puts away 4 violins.</p> <p>X cross off</p>	
<p> How many are left?</p>	
<p>Chris has 9 drums.</p> 	<div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto; text-align: center;">9</div> <div style="text-align: center;">-</div> <div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto; text-align: center;">5</div> <hr style="width: 80%; margin: 0 auto;"/> <div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto;"></div>
<p>He gives away 5 drums.</p> <p>X cross off</p>	
<p> How many are left?</p>	


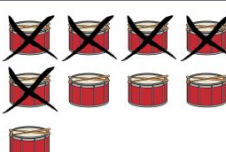
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INTERMEDIATE, Unit 27
Lesson 16c, Level 2

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Number Sense 41, Level 1
Subtracting to 10 Vertical

Name: _____

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	<div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto; text-align: center;">9</div> <div style="text-align: center;">-</div> <div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto; text-align: center;">5</div> <hr style="width: 80%; margin: 0 auto;"/> <div style="border: 1px solid black; width: 40px; height: 40px; margin: 0 auto;"></div>

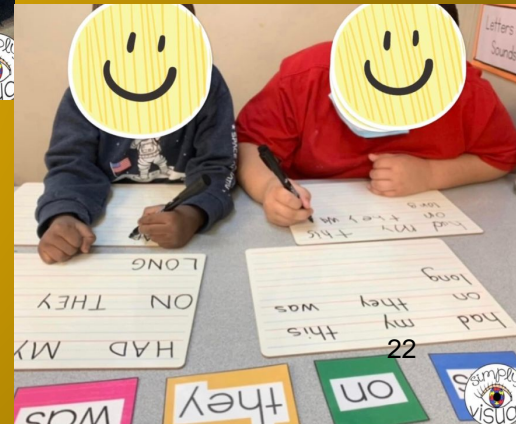
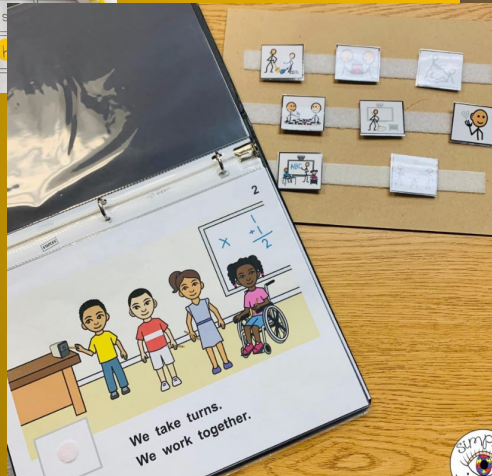
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INTERMEDIATE, Unit 27
Lesson 16c, Level 1

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Classroom Use



Cross Curricular Skills

ULS themes and activities “grow up” with our students- writing, reading and other skills are planned around functional life skills.

Writing - while filling out forms

Recognizing matching symbols- but through the lens of safety and traffic signs

Reading comprehension and answering questions- but through the lens of safety and traffic signs

Audition Form Name: _____
Please print legibly in ink.

Age/Grade: _____ Cell Phone Number: _____

Contacts: _____

How would you like to be part of this production? Circle all that apply:

actor singer dancer light crew sound crew backstage crew

makeup crew costume crew set design crew props crew front of house crew

Rehearsals are Mondays, Wednesdays and Fridays from 3:15 p.m. - 5:15 p.m. for 2 months.

Are you able to make a commitment to come to all rehearsals? yes no

Will you have reliable transportation to and from all rehearsals and performances? yes no

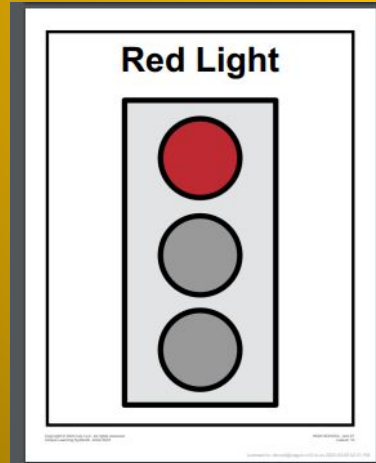
Are you willing to accept any role you are given? yes no

List any training or experience you have had that would help you be a part of the cast and crew.

Training/Experience	When

If you sing, what is your pitch or range? low medium high

Attach a current headshot to back of Audition Form.



Scenario 3:

Sabrina and Jacinda are in the car going to play practice. The traffic light turns yellow. What should they do?

Scenario 4:

Raj is walking to the library. He stops at the crosswalk. Raj sees the light across the street showing the 'Walk' signal. What should he do?

Data Collection

- Whenever a student has an annual IEP or new annual goals are introduced, the teacher develops targeted tasks and activities aligned to each goal for practice, maintenance, and data collection. These activities are used to gather data through work samples or direct observation. In our district, we require two data points per week for each IEP goal, so teachers must intentionally schedule time to work with each student individually to collect this data.
- These tasks can be facilitated through ULS curriculum, but often they are individualized based on student interest and needs.

Data Collection

Let's walk through how we would collect data on a specific task and goal period.

For example, a student's goal might state: *"In 36 instructional weeks, when provided with manipulatives and visuals, the student will count out the appropriate number of manipulatives corresponding to number between 1-5 with 80% accuracy in $\frac{1}{2}$ trials."*

To target this goal, the student would be given a task box—such as McDonald's fry bags—and a set of instruction cards indicating how many fries to place in each bag. Based on the student's level of independence, the teacher might observe the entire process directly or allow the student to complete the task independently and then return to check the accuracy.

For instance, the student pulls a card labeled "5," places five fries in the bag, sets it aside, and then continues to the next card, which might say "3," and so on, until all cards and bags are completed.

If the task includes five steps (e.g., five cards and bags), and the student correctly completes all five, they would be at 100% accuracy for that task. If only one step is completed correctly, the accuracy would be 20%. This is essentially a straightforward measurement of task accuracy.

We set goals that are both challenging and achievable within a year. Initially, a student may perform at 0%, 10%, or 15% accuracy. Over time, with instruction and practice, we aim for them to progress toward their mastery level—whether that be 70%, 80%, 90%, or even 100% accuracy by the end of the year.



manipulatives corresponding to number 1-5 with 80% accuracy in 1/3 trials.

Name: John Garcia

Teacher: Appleberry

Independent		Verbal	Gestural	Physical
Date	Task Box	Prompt	% Correct	
1/13	Fry task	I V G P	20	
1/16	counting bears	I V G P	20	
1/20	counting bears	I V G P	20	
1/24	bead stringing	I V G P	40	
1/27	bead stringing	I V G P	20	
1/30	bead stringing	I V G P	40	
2/3	Fry task	I V G P	40	
2/6	Fry task	I V G P	40	
2/12	Fry task	I V G P	60	
2/17	counting bears	I V G P	60	
2/19	counting bears	I V G P	40	
2/24	stickers	I V G P	60	
2/28	stickers	I V G P	80	
3/3	stickers	I V G P	80	26
3/6	stickers	I V G P	80	

Parents receive a progress report on all IEP goals concurrently with report cards

Example:

Goal Progress Report

Goal # 1 *Reading- Phonics*

Student Name: Elisa Long Tester Grade: 9th Date: 09/24/2024 DOB: 01/10/2009

Goal Statement *Within 36 instructional weeks, when given an alphabet strip, prompts, and reminders to stay on task, Ellie will be able to decode and encode CVC, CCVC, and CVCe words with 80% accuracy on 4/5 trials.*

09/24/2024 Sufficient Progress - Anticipate Making Progress Toward Goal **Progress Score: 3**

Ellie was able to read and spell 8/10 CVC words on the last 3/5 progress monitoring probe. She is still working on CCVC and CVCe words.

Data Collection

This process looks similar as students continue throughout their time as a student and get into older grades, but the system primarily stays the same. The activities, the rigor, and the independence with which students complete these tasks increase as they make progress.

We strive to create goals that are as functional and meaningful as possible to help students develop the adaptive skills needed for a more independent life. For example, rather than having students simply match colors, we might have them match grocery items to support real-world skills. Similarly, instead of teaching sequencing with just numbers, we focus on sequencing within daily life tasks such as folding laundry, brushing teeth, or other essential routines.



Our goal is to equip students with the practical skills that will increase their independence and reduce the level of support they need as adults.

Contact Information

Matador Special Services Department

(830) 401-8651

- Rachel Bloxham - Program Supervisor - rcbloxham@sequin.k12.tx.us
- Dawn Lynn - Special Education Coordinator - dmlynn@sequin.k12.tx.us

INFORMATION ITEM: **Notice of Intent to Apply for Federal Grants**

RECOMMENDATION: That the Board of Trustees receives notice on the intent to apply for the following federal grants for the 2025-2026 school year:
2025-26 ESSA Consolidated Grant
2025-26 Perkins V: Strengthening CTE
2025-26 Special Education Consolidated Grant

RATIONALE: The District shall provide public notice of federal grant applications through an information item at a Board meeting and by publishing information on the District’s website.

REFERENCE and COMPLIANCE: CB (LOCAL) State and Federal Revenue Sources

PAPERWORK IMPACT: Minimal

BUDGET IMPACT/ INFORMATION: Planning amounts posted on TEA’s Entitlement webpage

EXHIBITS: Presentation: Seguin ISD Intent to Apply for Federal Grants

RESOURCE PERSONNEL: Cynthia Borden, Director of Federal and State Accountability
Monica Lyons, Chief Academic Officer

Submitted by:
(Name) Dr. Veronica Vijil, Superintendent
(Address) 1221 E. Kingsbury St., Seguin, TX 78155
(Telephone) (830) 401-8614
(Date) 05/20/25

Notice to Apply for Federal Grants



CB (LOCAL): The District shall provide public notice of federal grant applications through an information item at a Board meeting and by publishing information on the District's website. The District shall make available opportunities for public input as required by law or the granting agency.

Grant	Purpose	Planning Amount
Title I, Part A	Improving Basic Programs.	TBA
Title I, Part D	Support for at-risk students detained in locally operated correctional facilities to meet state academic standards.	TBA
Title II, Part A	Support effective instruction by improving teacher and principal quality.	TBA
Title III, Part A	Support to improve language acquisition for Emergent Bilingual students.	TBA
Title IV, Part A	Support students through well-rounded educational activities.	TBA
IDEA B	Support for students receiving Special Education services.	TBA
IDEA B Preschool	Support for Preschool students receiving Special Education services.	TBA
Perkins V	Strengthening Career and Technical Education programs.	TBA

INFORMATION ITEM: **Seguin Independent School District Purchasing Cooperative Management Fees Report 2024-2025**

RATIONALE:

According to H.B. No. 273, Sec. 44.0331, a school district that enters into a purchasing contract valued at \$25,000 or more under Section 44.031(a)(5), under Subchapter F, Chapter 271, Local Government Code, or under any other cooperative purchasing program authorized for school districts by law shall document any contract-related fee, including any management fee, and the purpose of each fee under the contract.

Additionally, Subsection (b) states that, the amount, purpose, and disposition of any fee described by Subsection (a) must be presented in a written report and submitted annually in an open meeting of the board of trustees of the school district. The written report must appear as an action item. Subsection (c) states that, the commissioner may audit the written report described by Subsection (b).

Purchasing cooperatives are an important and helpful tool to Texas School Districts because they:

- Facilitate compliance with state purchasing requirements
- Identify qualified vendors of commodities, goods, and services
- Benefit from a competitive market place to maximize savings

REFERENCE and COMPLIANCE:

CH (LEGAL) and CH (LOCAL) Purchasing and Acquisition

PAPERWORK IMPACT:

None

BUDGET IMPACT / INFORMATION:

Funds are provided by the General Operating Fund.

EXHIBITS:

Seguin ISD Purchasing Cooperative Management Fees

RESOURCE PERSONNEL:

Elizabeth Oaks, Chief Financial Officer, RTSBA
Jennifer Raske Martinez, Purchasing Coordinator, RTSBA

Submitted by:

(Name) Dr. Veronica Vijil, Superintendent
(Address) 1221 E. Kingsbury St., Seguin, TX 78155
(Telephone) (830) 401-8614
(Date) 05/20/2025

**Seguin Independent School District
Purchasing Cooperative Management Fees**

Cooperative Name	Associated Fees	Notes
BuyBoard	\$ -	No management fees for BuyBoard.
Central Texas Purchasing Alliance (CTPA)	\$ 150.00	Annual fee of \$150.00 assessed in December 2023 for calendar year 2024.
Choice Partners	\$ -	No management fees for Choice Partners.
Equalis Group	\$ -	No management fees for Equalis
ESC Region 2, GoodBuy	\$ -	No management fees for GoodBuy.
ESC Region 19, Allied States Purchasing Cooperative	\$ -	No management fees for Allied States.
ESC Region 20, 2013 Purchasing Cooperative	\$ 1,647.00	Annual fees for General Supplies (\$875.00) and Ed Tech (\$772.00).
OMNIA Partners (U.S. Communities and National IPA/TCPN)	\$ -	No management fees for Omnia Partners.
Purchasing Association of Cooperative Entities (PACE)	\$ -	No management fees for Pace - included as part of 2013 Purchasing Cooperative membership.
Sourcwell	\$ -	No management fees for Sourcwell.
Texas 20	\$ -	No management fees for Texas 20.
Texas Department of Information Resources (DIR)	\$ -	No fees. No customer membership required. Seguin ISD qualifies to use DIR as a Public School District.
Texas Smart Buy	\$ 100.00	Annual member ship fee of \$100.00.
The Interlocal Purchasing System (TIPS)	\$ -	No management fees for TIPS.
ESC Region 6, EPIC6 Purchasing Cooperative	\$ -	No management fees for EPIC6.
ESC Region 16, TEXBUY Purchasing Cooperative	\$ -	No management fees for TEXBUY.
791 Purchasing Cooperative	\$ -	No management fees for 791.
ESC Region 5, SETX Purchasing Cooperative	\$ -	No management fees for SETX.
Total	\$ 1,897.00	

INFORMATION ITEM: **Budget Presentation**

RECOMMENDATION: That the Board of Trustees receive an update on budget planning.

RATIONALE: To provide the Board of Trustees with regular updates on Seguin Independent School District's Budget.

REFERENCE and COMPLIANCE: CE (LEGAL) and CE (LOCAL) Annual Operating Budget

BUDGET IMPACT / INFORMATION: None

EXHIBITS: Budget Update Presentation

RESOURCE PERSONNEL: Elizabeth Oaks, Chief Financial Officer, RTSBA

Submitted by:

 (Name) Dr. Veronica Vijil, Superintendent

 (Address) 1221 E. Kingsbury St., Seguin, TX 78155

 (Telephone) (830) 401-8614

 (Date) 05/20/25

2025-2026 Budget

School Finance / Legislation / Raise Scenarios

M & O (Maintenance & Operations)

- Made up of maximum compressed tax rate set by TEA + golden and/or copper pennies
- Tax collections are collected and sent through the appraisal district to the school district
- Amount kept, supplemented and / or returned is dependent on lots of key factors about the district - including attendance.
- We do get to keep all of our tax dollars and the state supplements to get the district to the guaranteed level of funding



Foundation School Program (FSP)

- Foundation School Program – Tier 1 & Tier 2
- Tier One - about 75% of total FSP funding
 - Basic Allotment \$6,160 per student
 - last increase 19-20 from \$5,140
 - Plus Allotments
 - Size of district
 - Special programs – dyslexia, at risk kids (comp ed)
 - Special Ed
 - School safety
 - Career & Technology
 - Fast growth
 - Teacher Incentive Allotment
 - Mentor Program Allotment
 - Transportation
 - New Instructional Facility

ADA - Average Daily Attendance

the number of actual students in attendance each day for the year

Divided by

the number of days of instruction



Tax Rate and Tier 1 FSP Funding

Tier One Tax Collections

MAXIMUM COMPRESSED TAX
RATE (MCR)

2020-2021 .9164

2021-2022 .8396

2022-2023 .8046

2023-2024 .6716

2024-2025 .6168

Tier One State Funding

IF KIDS STAYED EXACTLY THE SAME

2020-2021 state portion



2021-2022 state portion



2022-2023 state portion



2023-2024 state portion

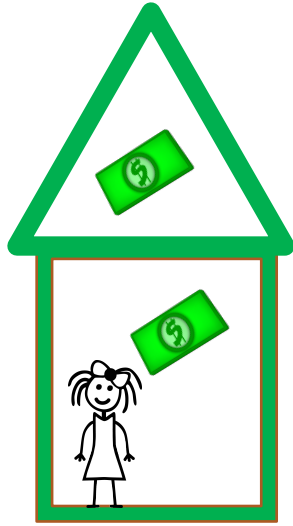


2024-2025 state portion



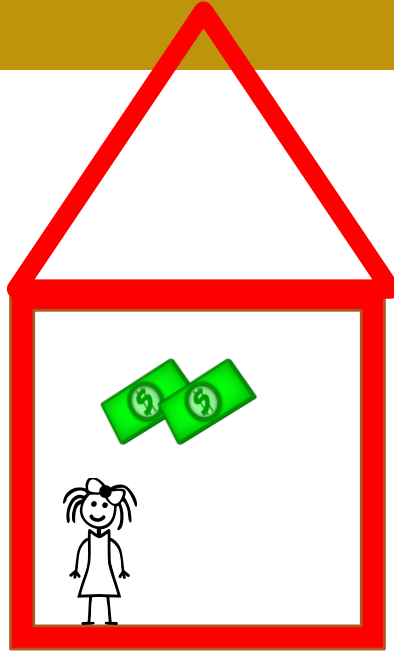
M & O - Maintenance & Operations

District A



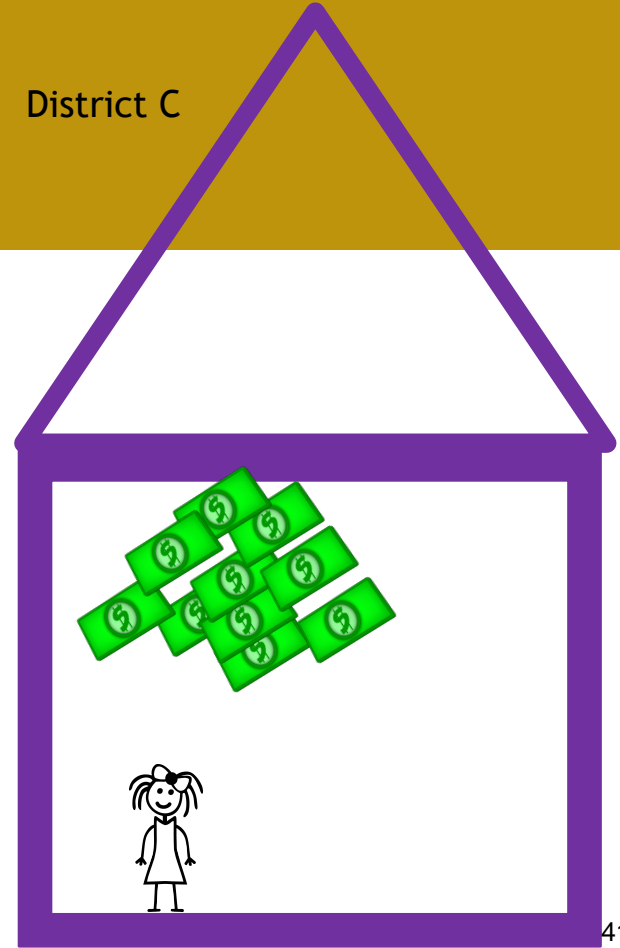
\$100,000

District B



\$200,000

District C

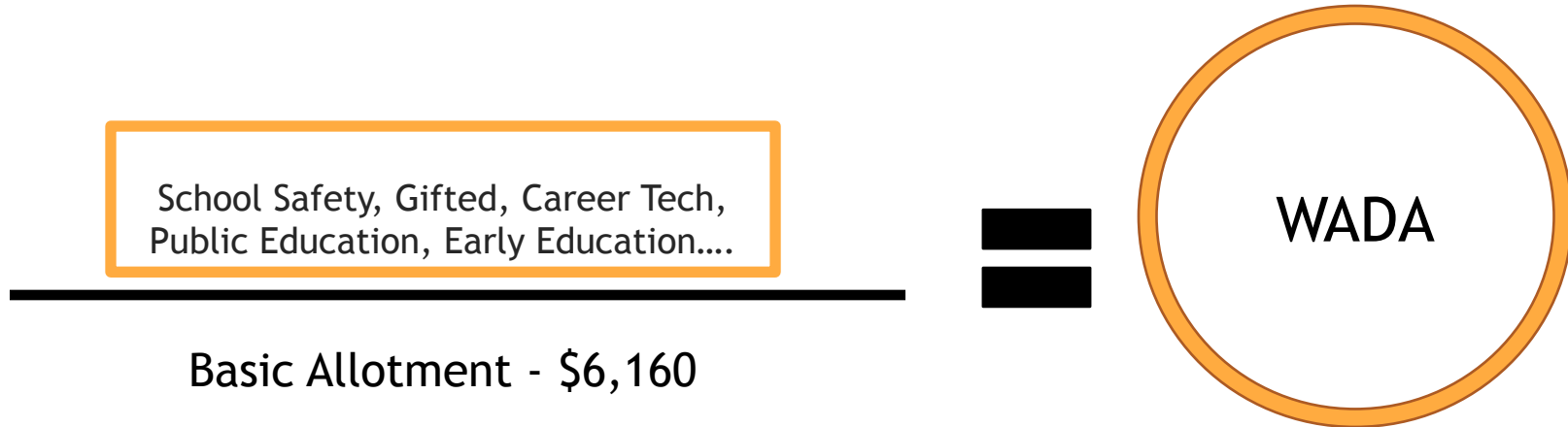


\$1,000,000

MCR = \$1.00

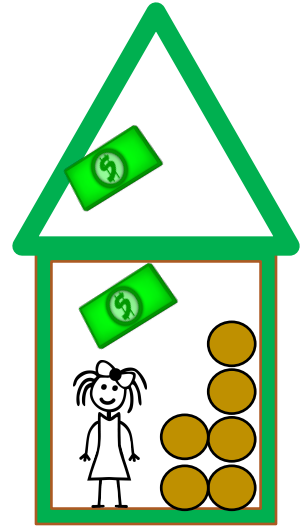
Tax Rate and Tier 2 FSP Funding

- Enrichment funding
- Based on district's tax effort that is above the MCR – golden & copper pennies
- WADA (Weighted Average Daily Attendance)



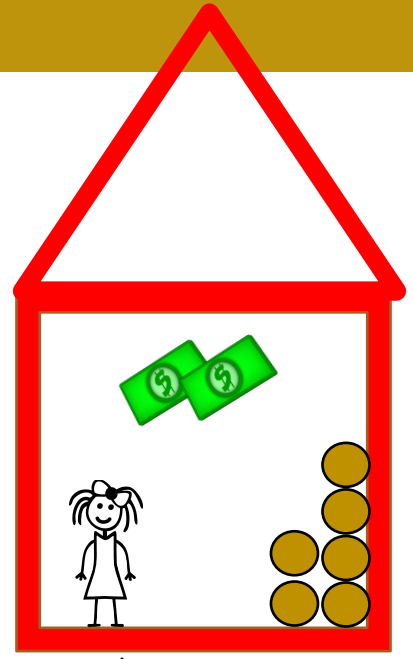
Up to 8 golden pennies
Up to 9 copper pennies
For a total of 17 pennies

District A



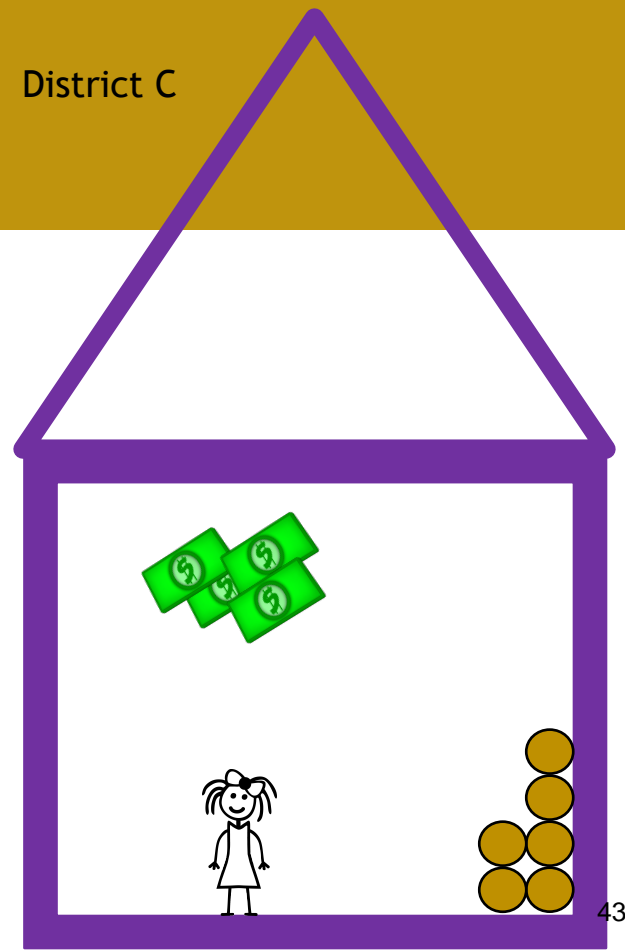
\$100,000
\$40 Tax Collections

District B



\$200,000
\$80 Tax Collections

District C



\$1,000,000
\$400 Tax Collections

Foundation School Program (FSP)

- Foundation School Program – Tier 1 & Tier 2
- Tier One - about 75% of total FSP funding
 - Basic Allotment **\$6,160** per student
 - last increase 19-20 from \$5,140
 - Plus Allotments
 - Size of district
 - Special programs – **dyslexia**, at risk kids (comp ed)
 - **Special Ed**
 - School safety
 - **Career & Technology**
 - **State Compensatory Education**
 - Teacher Incentive Allotment
 - **Bilingual**
 - **Early Education Allotment**
 - New Instructional Facility

New!
Special Education
Evaluations
Fine Arts Allotment

ADA - Average Daily Attendance

the number of actual students in attendance each day for the year

Divided by

the number of days of instruction



House Bill 2

- Basic Allotment - Golden Penny Yield - freeze at \$129.52
- Special Ed
 - Based on intensity of services
 - \$1,000 for every SPED evaluation
- Dyslexia - expand students we can collect funding on
- Compensatory Education - increase to weight
- Bilingual - increase to weights
- Early Education - Full day Pre Kindergarten for eligible students
- Fine Arts - New - based on ADA grades 6-12



Foundation School Program (FSP) - Legislation - House Bill 2

- Foundation School Program – Tier 1 & Tier 2
- Tier One - about 75% of total FSP funding
 - Basic Allotment ~~\$6,169~~ \$6,555 per student + \$2,468,036
 - last increase 19-20 from \$5,140
 - Plus Allotments
 - Size of district
 - Special programs – dyslexia, at risk kids (comp ed)
 - Special Ed Weights + \$605,421 / Special Ed Evaluations + \$274,000
 - Dyslexia + \$18,052
 - School safety
 - Career & Technology + \$213,365
 - Fine Arts Allotment - + \$23,953
 - Early Education Allotment + \$187,720
 - Teacher Incentive Allotment (TIA) Increases to TIA
 - Compensatory Education Allotment + \$519,731
 - Bilingual + \$51,125
 - New Instructional Facility

ADA - Average Daily Attendance

the number of actual students in attendance each day for the year

Divided by

the number of days of instruction



Tax Rate and Tier 2 FSP Funding - House Bill 2

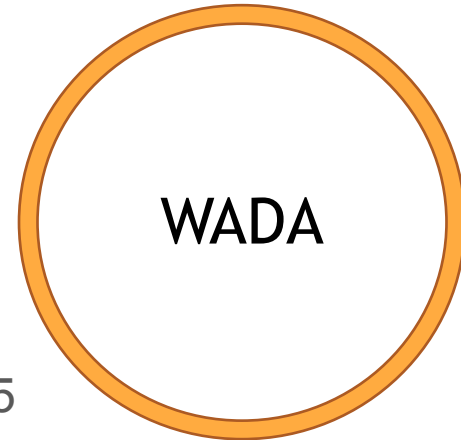
- Enrichment funding
- Based on district's tax effort that is above the MCR – golden & copper pennies
- WADA (Weighted Average Daily Attendance)

School Safety, Gifted, Career Tech,
Public Education, Early Education....

Basic Allotment - \$6,160

Golden Penny Guaranteed Yield - \$129.52 as of 2025

Cap Yield at \$129.52



Total Addition in Revenue under House Bill 2
\$4,233,670

Required Compensation Increases

- 40% of Funding Gain to Required Compensation Increases
 - 75% of gain must go to salary increases paid to classroom teachers, nurses, librarians and counselors
 - Must prioritize teachers with 10 or more years of experience
 - Average salary increases must be 40% higher than average increases for teachers with 5 or more years of experience
 - 25% of gain may be used to increase compensation paid to other full time district employees
- Current estimates
 - 40% Requirement - \$1,654,810
 - 75% Requirement - \$1,241,107
 - 25% - \$413,702

Senate Bill 26

- Teacher Pay Increase - Passthrough
 - Ongoing allotment
 - Teachers with 3 to < 5 years - \$2,500
 - Teachers > 5 years - \$5,500
 - Notice no money for teachers 0-2
- Increase in Teacher Incentive Allotment

Will they do both?

Should we decide on raises?

Compensation Increase Scenarios for 2025-2026 school year

Teacher, counselor, librarian spend requirement - \$1,241,107

Cost of current teachers moving up one step - \$260,000

Scenario #1

3% raise to teachers, counselors, librarians - \$1,028,000

3% raise to midpoint for all other staff - \$800,000

Total addition to budget - \$2,088,000

Fun Facts

- Starting Teacher Salary went from \$57,000 to \$58,710
- Average annual increase for teachers on staff - \$2,145
- Average annual increase for hourly (clerical, maintenance) - \$986 - \$1,187

Compensation Increase Scenarios for 2025-2026 school year

Teacher, counselor, librarian spend requirement - \$1,241,107

Cost of current teachers moving up one step - \$260,000

Scenario #2

4% raise to teachers, counselors, librarians - \$1,350,000

4% raise to midpoint for all other staff - \$1,062,000

Total addition to budget - \$2,672,000

Fun Facts

- Starting Teacher Salary went from \$57,000 to \$59,280
- Average annual increase for teachers on staff - \$2,800
- Average annual increase for hourly (clerical, maintenance) - \$1,314 - \$1,583

Compensation Increase Scenarios for 2025-2026 school year

Teacher, counselor, librarian spend requirement - \$1,241,107

Cost of current teachers moving up one step - \$260,000

Scenario #3

5% raise to teachers, counselors, librarians - \$1,677,000

5% raise to midpoint for all other staff - \$1,330,000

Total addition to budget - \$3,267,000

Fun Facts

- Starting Teacher Salary went from \$57,000 to \$59,850
- Average annual increase for teachers on staff - \$3,500
- Average annual increase for hourly (clerical, maintenance) - \$1,643 - \$1,979

Compensation Increase Scenarios for 2025-2026 school year

Teacher, counselor, librarian spend requirement - \$1,241,107

Cost of current teachers moving up one step - \$260,000

Scenario #4

4% raise to teachers, counselors, librarians - \$1,350,000

5% raise to midpoint for all other staff - \$1,330,000

Total addition to budget - \$2,940,000

Fun Facts

- Starting Teacher Salary went from \$57,000 to \$59,280
- Average annual increase for teachers on staff - \$2,800
- Average annual increase for hourly (clerical, maintenance) - \$1,643 - \$1,979

Projections without Tax Ratification Election

Projected 24-25 Ending Fund Balance	\$29 million
HB 2 as of today (additional revenue)	\$4.2 million
Estimated 25-26 Deficit (no raises, no budget additions, based on 24-25 expenses)	\$2.8 million deficit
Estimated budget additions (no raises)	\$3 million
Raise estimate - based on scenarios (used 4%)	\$2.7 million
Estimated 25-26 Budget Deficit	\$4.3 million
Estimated 25-26 Ending Fund Balance	\$24.7 million
Minimum Unassigned Fund Balance per local policy	\$21 million

Projections with Tax Ratification Election

Projected 24-25 Ending Fund Balance	\$29 million
HB 2 as of today (additional revenue)	\$4.2 million
Tax Ratification Revenue	\$2.4 million
Estimated 25-26 Deficit (no raises, no budget additions, based on 24-25 expenses)	\$2.8 million deficit
Estimated budget additions (no raises)	\$3 million
Raise estimate - based on scenarios (used 5%)	\$3.3 million
Estimated 25-26 Budget Deficit	\$2.5 million
Estimated 25-26 Ending Fund Balance	\$26.5 million
Minimum Unassigned Fund Balance per local policy	\$21 million

Considerations

- Budget Additions?
 - Set a target amount?
- Tax Ratification Election - Maximum Compressed Tax Rate
- 3% to 5% raise to staff in December if TRE passes
 - Dependent on legislation
 - Dependent on additional revenue from TRE

Updates

Liz will update again - Monday 5/19 with latest updates

- Next year budget requests - \$4.8 million

INFORMATION ITEM: **Financial Statements for March 2025**

RATIONALE: The District’s official budget includes the General Fund, Child Nutrition Fund, and Debt Service Fund. The attached financial statements are designed to provide interim information for the Board of Trustees regarding operations of the District. The attached financial statements are unaudited and do not reflect certain required accounting entries for the official year-end financial report.

REFERENCE and COMPLIANCE: None

PAPERWORK IMPACT: None

EXHIBITS: Financial Statements for the General Operating Fund, Child Nutrition Fund, and Debt Service Fund are attached.

RESOURCE PERSONNEL: Elizabeth Oaks, Chief Financial Officer, RTSBA
Sally Eckhart, Budget Coordinator

Submitted by:
 (Name) Dr. Veronica Vijil, Superintendent
 (Address) 1221 E. Kingsbury St., Seguin, TX 78155
 (Telephone) (830) 401-8614
 (Date) 05/20/25

Function Codes

11 – Instruction - Activities that deal directly with the interaction between teachers and students

12 – Instructional Resources/Media Services - Expenditures that are directly and exclusively used for resource centers, establishing and maintaining libraries

13 – Curriculum & Instructional Staff Development – Expenditures directly and exclusively used to aid instructional staff in planning, developing and evaluating the process of providing learning experiences for students. (Includes in-service training for instructional or instructional-related personnel (Functions 11, 12, and 13))

21 – Instructional Leadership - Expenditures that are for managing, directing, supervising, and providing leadership for staff who provide general and specific instructional services

23 – School Leadership - Expenditures to direct and manage a school campus

31 – Guidance & Counseling – Expenditures for assessing and testing students' abilities, aptitudes and interests; counseling students

32 - Social Work Services - Expenditures that for activities such as investigating and diagnosing student social needs arising out of the home, school or community: includes truant/attendance officers

33 – Health Services - Expenditures for providing physical health services to students

34 – Student Transportation - Expenditures for transporting students to and from school.

35 – Food Service – Expenditures for food service operations

36 – Extracurricular Activities - Expenditures for school-sponsored activities outside of the school day.

41 – General Administrations - Expenditures for purposes of managing or governing the school district as an overall entity

51 – Maintenance & Operations - Expenditures for activities to keep the facilities and grounds open, clean, comfortable and in effective working condition and state of repair, and insured

52 – Security & Monitoring Services – Expenditures for activities to keep student and staff surroundings safe, whether in transit to or from school, on a campus or participating in school-sponsored events at another location

53 – Data Processing Services - Expenditures for data processing services, whether in-house or contracted.

61 – Community Services - Expenditures for activities or purposes other than regular public education and includes expenditures are for services or activities relating to the whole community or some segment of the community

71 – Debt Service – Expenditures for debt service payments and related fees

81 – Facilities Acquisition and Improvements - Expenditures for acquiring, equipping, and/or making additions to real property and sites

99 – Other Governmental Charges – Expenditures for other intergovernmental charges not defined above

**Seguin Independent School District
Financial Statements
General Operating Fund
March, 2025**

Month 9 of 12 0.75%

REVENUE	Adopted Budget	March 31, 2025	March 31, 2025	Budget Remaining	Percent Collected
		Amended Budget	Year to Date Actual Revenues		
Local					
Property Taxes-Current	36,690,360	36,690,360	33,687,601	3,002,759	91.82%
Property Taxes-Delinquent	950,000	950,000	777,633	172,367	81.86%
Property Taxes-Penalty & Interest	500,000	500,000	296,705	203,295	59.34%
Interest Income	1,300,000	1,300,000	1,125,614	174,386	86.59%
Other Local Income	240,000	240,000	380,304	-	158.46%
State	34,745,186	34,887,076	18,103,826	16,783,250	51.89%
Federal	767,000	767,000	443,746	323,254	57.85%
REVENUE	75,192,546	75,334,436	54,815,429	20,519,007	72.76%
EXPENSE BY FUNCTION (BOARD APPROVED)	Adopted Budget	March 31, 2025 Amended Budget	March 31, 2025 Year to Date Actual Expenditures	Budget Remaining	Percent Expended
11 - Instruction	43,061,198	43,327,800	25,418,623	17,909,177	58.67%
12 - Instructional Resources & Media Svcs	1,100,983	1,071,809	709,801	362,008	66.22%
13 - Curr & Instructional Staff Development	735,275	581,283	315,385	265,898	54.26%
21 - Instructional Leadership	2,076,321	2,346,013	1,519,241	826,772	64.76%
23 - School Leadership	5,097,863	4,998,884	3,463,824	1,535,060	69.29%
31 - Guidance & Counseling Services	2,677,549	2,743,932	1,785,128	958,804	65.06%
32 - Social Work Services	672,569	670,222	392,466	277,756	58.56%
33 - Health Services	858,109	865,619	517,985	347,634	59.84%
34 - Student Transportation	3,481,004	3,443,504	2,444,595	998,909	70.99%
35 - Food Service	-	-	-	-	-
36 - Co-curricular Activities	2,079,122	2,100,407	1,446,569	653,839	68.87%
41 - General Administration	3,099,979	3,527,148	2,686,832	840,316	76.18%
51 - Plant Maintenance & Operations	8,338,937	8,350,947	5,995,496	2,355,451	71.79%
52 - Security & Monitoring Services	952,567	995,967	781,561	214,406	78.47%
53 - Data Services	2,105,852	2,219,411	1,827,977	391,434	82.36%
61 - Community Services	30,167	27,329	5,287	22,042	19.35%
71 - Debt Services	-	665,000	665,000	-	100.00%
81 - Facilities Acquisition & Construction	-	1,780,800	1,204,718	576,082	67.65%
93 - Payments to Fiscal Agent/SSA	1,946,727	1,955,312	-	1,955,312	0.00%
99 - Intergovmntl Charges (Appraisal Svcs)	842,464	802,645	522,695	279,950	65.12%
EXPENSE	79,156,686	82,474,032	51,703,180	30,770,852	62.69%
REVENUE OVER/(UNDER) EXPENSE	\$ (3,964,140)	\$ (7,139,596)	\$ 3,112,249		
Other Sources	-	-	-		
Other Uses	-	-	-		
OTHER SOURCES AND USES	\$ -	\$ -	\$ -		
RESULT OF ACTIVITIES	\$ (3,964,140)	\$ (7,139,596)	\$ 3,112,249		
EXPENSE BY OBJECT (INFORMATION ONLY)	Adopted Budget	March 31, 2025 Amended Budget	March 31, 2025 Year to Date Actual Expenditures	Budget Remaining	Percent Expended
6100 - Salaries	57,907,021	58,068,750	37,017,430	21,051,320	63.75%
6144 - TRS On-Behalf Payments	5,307,700	5,307,700	2,414,693	2,893,007	45.49%
6200 - Purchased & Contracted Services	8,507,192	9,192,766	6,318,176	2,874,590	68.73%
6300 - Supplies & Materials	3,830,890	3,872,174	2,912,081	960,093	75.21%
6400 - Other Operating Costs	3,593,402	3,595,033	1,155,774	2,439,259	32.15%
6500 - Debt Service	-	665,000	665,000	-	100.00%
6600 - Capital Outlay	10,481	1,772,609	1,220,025	552,584	68.83%
EXPENSE	79,156,686	82,474,032	51,703,180	30,770,852	62.69%
PRELIMINARY ESTIMATE - Fund Balance Test per Board Policy CE (LOCAL):					
Amended Budget Expense <i>(official test will use actuals at year end)</i>					82,474,032
Less: Non-Operating Expenses/Fund Balance Assignments					
Assigned for 24-25 QZAB Payment (8 of 15)				\$	(665,000)
Assigned for BB/SB Complex Construction				\$	(1,750,000)
Assigned for Welding Shop Upgrades				\$	(30,800)
Assigned for Holdworth contract				\$	(242,000)
Assigned for Abre Subscription				\$	(146,499)
Assigned for Teacher Incentive Allotment Program Development				\$	(64,457)
Assigned for National Board of Prof Teaching Standards Cert fees				\$	(17,150)
Total Non-Operating Expenses				\$	(2,915,906)
24 - 25 Budgeted Operating Expense <i>(official test will use actuals at year end)</i>				\$	79,558,126
25% Unassigned Fund Balance Criteria as per Board Policy CE (LOCAL)					25%
24 - 25 Minimum Unassigned Fund Balance				\$	19,889,532
24-25 Beginning Unassigned Fund Balance				\$	35,018,387
24-25 Estimated Ending Unassigned Fund Balance (Unaudited)				\$	27,878,791
Projected Unassigned Fund Balance Over/(Under) CE (LOCAL) Requirement				\$	7,989,260

**Seguin Independent School District
Financial Statements
Child Nutrition Fund
March, 2025**

Month 9 of 12 0.75%

REVENUE	Adopted Budget	March 31, 2025	March 31, 2025	Budget Remaining	Percent Collected
		Amended Budget	Year to Date Actual Revenues		
Local					
Property Taxes-Current	-	-	-	-	
Property Taxes-Delinquent	-	-	-	-	
Property Taxes-Penalty & Interest	-	-	-	-	
Interest Income	20,000	20,000	91,607	-	458.03%
Other Local Income	339,500	339,500	204,899	134,601	60.35%
State	55,500	55,500	33,747	21,753	60.80%
Federal	6,675,000	6,675,000	4,859,204	1,815,796	72.80%
REVENUE	7,090,000	7,090,000	5,189,457	1,900,543	73.19%

EXPENSE BY FUNCTION (BOARD APPROVED)	Adopted Budget	March 31, 2025	March 31, 2025	Budget Remaining	Percent Expended
		Amended Budget	Year to Date Actual Expenditures		
11 - Instruction	-	-	-	-	
12 - Instructional Resources & Media Svcs	-	-	-	-	
13 - Curr & Instructional Staff Development	-	-	-	-	
21 - Instructional Leadership	-	-	-	-	
23 - School Leadership	-	-	-	-	
31 - Guidance & Counseling Services	-	-	-	-	
32 - Social Work Services	-	-	-	-	
33 - Health Services	-	-	-	-	
34 - Student Transportation	-	-	-	-	
35 - Food Service	7,063,500	7,063,500	5,378,262	1,685,238	76.14%
36 - Co-curricular Activities	-	-	-	-	
41 - General Administration	-	-	-	-	
51 - Plant Maintenance & Operations	19,500	19,500	9,327	10,173	47.83%
52 - Security & Monitoring Services	7,000	7,000	442	6,559	6.31%
53 - Data Services	-	-	-	-	
61 - Community Services	-	-	-	-	
71 - Debt Services	-	-	-	-	
81 - Facilities Acquisition & Construction	-	-	-	-	
93 - Payments to Fiscal Agent/SSA	-	-	-	-	
99 - Intergovmntl Charges (Appraisal Servs)	-	-	-	-	
EXPENSE	7,090,000	7,090,000	5,388,031	1,701,969	75.99%
REVENUE OVER/(UNDER) EXPENSE	\$ -	\$ -	(198,574)		

Other Sources	-	-	-		
Other Uses	-	-	-		
OTHER SOURCES AND USES	\$ -	\$ -	\$ -		
RESULT OF ACTIVITIES	\$ -	\$ -	\$ (198,574)		

EXPENSE BY OBJECT (INFORMATION ONLY)	Adopted Budget	March 31, 2025	March 31, 2025	Budget Remaining	Percent Expended
		Amended Budget	Year to Date Actual Expenditures		
6100 - Salaries	3,021,900	3,021,900	2,015,023	1,006,877	66.68%
6144 - TRS On-Behalf Payments	-	-	-	-	
6200 - Purchased & Contracted Services	167,700	182,700	127,281	55,419	69.67%
6300 - Supplies & Materials	3,743,000	3,724,000	2,937,125	786,875	78.87%
6400 - Other Operating Costs	57,400	61,400	39,813	21,587	64.84%
6500 - Debt Service	-	-	-	-	
6600 - Capital Outlay	100,000	100,000	268,788	(168,788)	268.79%
EXPENSE	7,090,000	7,090,000	5,388,031	1,701,969	75.99%

PRELIMINARY ESTIMATE - Fund Balance:					
24 - 25 Beginning Fund Balance (Unaudited)					
Unassigned			\$ 2,898,469		
Non Spendable - Inventory			\$ 50,266		
Total 24 - 25 Beginning Fund Balance (Unaudited)				\$ 2,948,735	
24 - 25 Actual Year to Date Revenue Over/(Under) Expense			\$ (198,574)		
24 - 25 Actual Year to Date Other Sources and Uses			\$ -		
24 - 25 Budget Remaining Revenue Over/(Under) Expense			\$ 198,574		
24 - 25 Estimated Year End Result of Activities				\$ -	
24 - 25 Estimated Ending Fund Balance (Unaudited)				\$ 2,948,735	

**Seguin Independent School District
Financial Statements
Debt Service Fund
March, 2025**

Month 9 of 12 0.75%

REVENUE	Adopted Budget	March 31, 2025	March 31, 2025	Budget Remaining	Percent Collected
		Amended Budget	Year to Date Actual Revenues		
Local					
Property Taxes-Current	16,519,000	21,325,262	20,112,919	1,212,343	94.31%
Property Taxes-Delinquent	250,000	250,000	381,809	-	152.72%
Property Taxes-Penalty & Interest	100,000	100,000	150,700	-	150.70%
Interest Income	-	-	498,472	-	
Other Local Income	-	-	-	-	
State	-	-	2,426,767	-	
Federal	-	-	-	-	
REVENUE	16,869,000	21,675,262	23,570,667	(1,895,405)	108.74%
EXPENSE BY FUNCTION (BOARD APPROVED)	Adopted Budget	March 31, 2025	March 31, 2025	Budget Remaining	Percent Expended
		Amended Budget	Year to Date Actual Expenditures		
11 - Instruction				-	
12 - Instructional Resources & Media Svcs				-	
13 - Curr & Instructional Staff Development				-	
21 - Instructional Leadership				-	
23 - School Leadership				-	
31 - Guidance & Counseling Services				-	
32 - Social Work Services				-	
33 - Health Services				-	
34 - Student Transportation				-	
35 - Food Service				-	
36 - Co-curricular Activities				-	
41 - General Administration				-	
51 - Plant Maintenance & Operations				-	
52 - Security & Monitoring Services				-	
53 - Data Services				-	
61 - Community Services				-	
71 - Debt Services	16,869,000	21,675,262	16,782,635	4,892,627	77.43%
81 - Facilities Acquisition & Construction				-	
93 - Payments to Fiscal Agent/SSA				-	
99 - Intergovmntl Charges (Appraisal Servs)				-	
EXPENSE	16,869,000	21,675,262	16,782,635	4,892,627	77.43%
REVENUE OVER/(UNDER) EXPENSE	\$ -	\$ -	6,788,032		
Other Sources	-	-	-		
Other Uses	-	-	-		
OTHER SOURCES AND USES	\$ -	\$ -	\$ -		
RESULT OF ACTIVITIES	\$ -	\$ -	\$ 6,788,032		
EXPENSE BY OBJECT (INFORMATION ONLY)	Adopted Budget	March 31, 2025	March 31, 2025	Budget Remaining	Percent Expended
		Amended Budget	Year to Date Actual Expenditures		
6100 - Salaries				-	
6144 - TRS On-Behalf Payments				-	
6200 - Purchased & Contracted Services				-	
6300 - Supplies & Materials				-	
6400 - Other Operating Costs				-	
6500 - Debt Service	16,869,000	21,675,262	16,782,635	4,892,627	77.43%
6600 - Capital Outlay				-	
EXPENSE	16,869,000	21,675,262	16,782,635	4,892,627	77.43%
PRELIMINARY ESTIMATE - Fund Balance:					
24 - 25 Beginning Fund Balance (Unaudited)			\$ 16,644,486		
Total 24 - 25 Beginning Fund Balance (Unaudited)				\$ 16,644,486	
24 - 25 Actual Year to Date Revenue Over/(Under) Expense			\$ 6,788,032		
24 - 25 Actual Year to Date Other Sources and Uses			\$ -		
24 - 25 Budget Remaining Revenue Over/(Under) Expense			\$ (6,788,032)		
24 - 25 Estimated Year End Result of Activities				\$ -	
24 - 25 Estimated Ending Fund Balance (Unaudited)				\$ 16,644,486	

INFORMATION ITEM: **New Vendors**

RATIONALE: To provide the Board of Trustees with regular updates on vendors that have responded to Requests for Proposals and are being added to the district's approved vendor list.

REFERENCE and COMPLIANCE: CH(LEGAL) and CH(LOCAL) Purchasing and Acquisition

BUDGET IMPACT / INFORMATION: None

EXHIBITS: Vendor Forms

RESOURCE PERSONNEL: Elizabeth Oaks, Chief Financial Officer, RTSBA
Jennifer Raske Martinez, Purchasing Coordinator, RTSBA

Submitted by:
 (Name) Dr. Veronica Vijil, Superintendent
 (Address) 1221 E. Kingsbury St., Seguin, TX 78155
 (Telephone) (830) 401-8614
 (Date) 05/20/25

**SEGUIN INDEPENDENT SCHOOL DISTRICT
 BID VENDOR RESPONSES**

VENDOR	REQUEST FOR PROPOSALS	SERVICES PROVIDED
Superior Fleet Solutions	RFP 24-01: Vehicle Maintenance, Equipment, Parts, & Services	Fleet vehicle repairs and services
ACM Body	RFP 24-01: Vehicle Maintenance, Equipment, Parts, & Services	Auto body repair services
Superior Fleet Solutions	RFP 24-04: Facility & Grounds Maintenance, Equipment, Parts, & Services	Equipment repairs and maintenance
Pinnacle Speech	RFP 24-05: Special Education Services	Speech therapy services

Note:

Respondents were evaluated based on the following criteria:

- Required documents were completed by the respondent
- Purchase price (if applicable)
- Quality and reputation
- Goods and/or services meet District needs

INFORMATION ITEM: **Purchases made over \$50,000**

RATIONALE: To provide the Board of Trustees with regular updates on purchases made greater than \$50,000.

REFERENCE and COMPLIANCE: CH(LEGAL) and CH(LOCAL) Purchasing and Acquisition

BUDGET IMPACT / INFORMATION: None

EXHIBITS: Purchasing Informatin Form

RESOURCE PERSONNEL: Elizabeth Oaks, Chief Financial Officer, RTSBA
Jennifer Raske Martinez, Purchasing Coordinator, RTSBA

Submitted by:
 (Name) Dr. Veronica Vijil, Superintendent
 (Address) 1221 E. Kingsbury St., Seguin, TX 78155
 (Telephone) (830) 401-8614
 (Date) 05/20/25

**SEGUIN INDEPENDENT SCHOOL DISTRICT
PURCHASE INFORMATION FORM**

VENDOR/DOLLAR AMOUNT/PO Date	CONTRACT	REFERENCE
Gomez Floor Covering \$109,959 4/8/2025	Buyboard Purchasing Cooperative	#736-24: Carpte and Tile Flooring, Stage Floor Refinishing, Concrete Polishing, Grinding, and Staining
Trane Company \$53,610 4/8/2025	Buyboard Purchasing Cooperative	#720-23: HVAC Equipment, Supplies, and Installation of HVAC Equipment
Professional Service Industries, Inc \$54,936 4/17/25	Professional Services	Government Code: Sec. 2254.002 - 2254.004
Visual Techniques, Inc \$85,000 4/17/2025	ESC 20 2013 Purchasing Cooperative	#23022: Computer Products, Educational Technology
Wenger Corporation \$118,944 4/22/2025	Buyboard Purchasing Cooperative	#712-23: Musical Instruments, Equipment, Supplies, and Repair
Move Solutions, LTD \$78,715 4/23/2025	Buyboard Purchasing Cooperative	#738-24: Moving Services and Supplies

INFORMATION ITEM: **Discussion of Status of A.J. Briesemeister Middle School Construction Project**

RATIONALE: This is an update to the status of this project. There is a corresponding item for closed session to allow the board to consult with an attorney.

REFERENCE and COMPLIANCE: CH(LEGAL) and CH(LOCAL) Purchasing and Acquisition

BUDGET IMPACT / INFORMATION: None

EXHIBITS: None

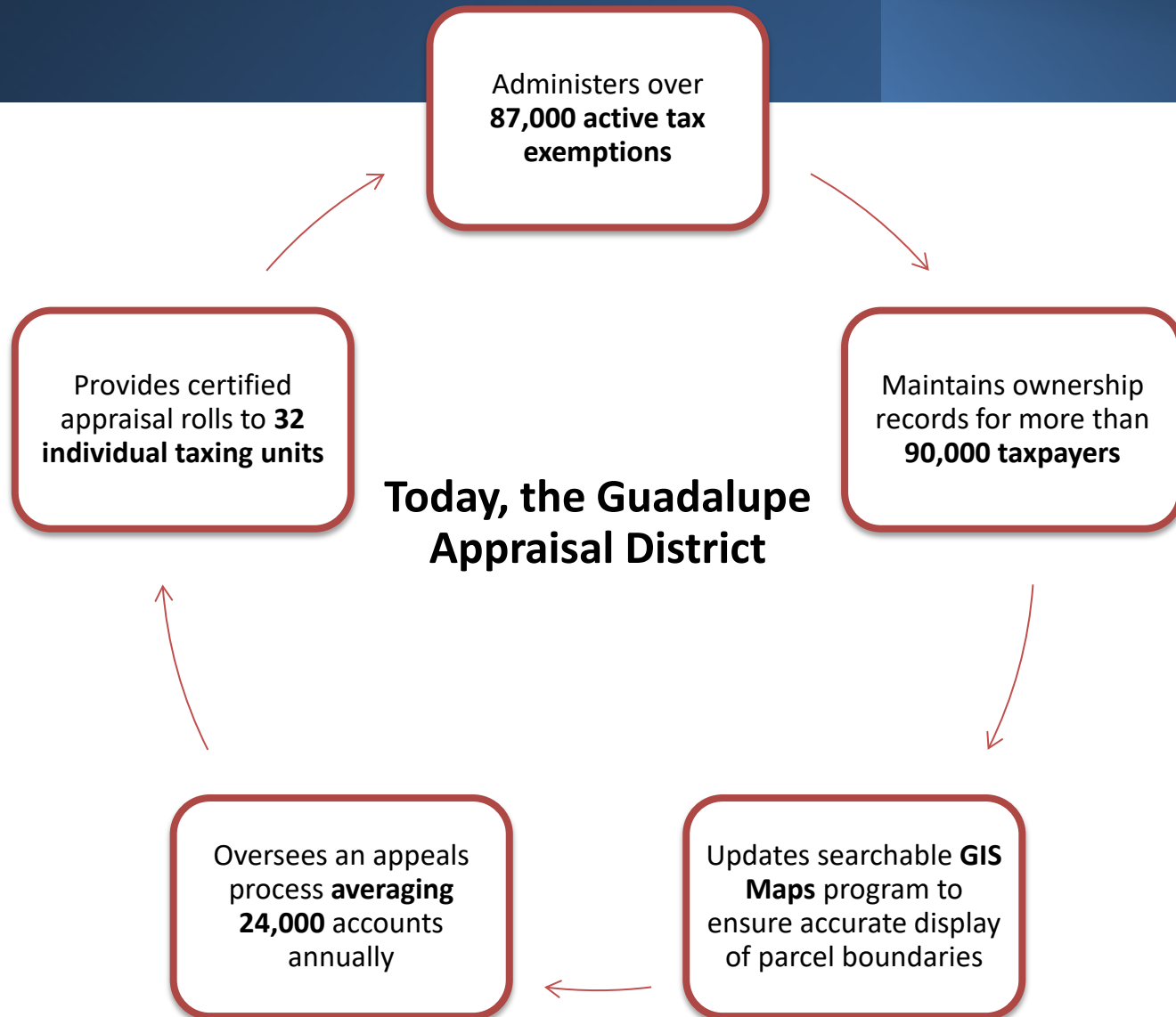
RESOURCE PERSONNEL: Elizabeth Oaks, Chief Financial Officer, RTSBA

Submitted by:
 (Name) Dr. Veronica Vijil, Superintendent
 (Address) 1221 E. Kingsbury St., Seguin, TX 78155
 (Telephone) (830) 401-8614
 (Date) 05/20/25



Present Day Facility
3000 N. Austin Street
Seguin, TX

More than just appraising....



**2008
Aerial**



Facility History

2025 Aerial



Current Facility Challenges



**Limited Public Service Counterspace:
Extended wait times can be frustrating to taxpayers**





**Public Service Lobby
Accessibility Difficulty for ADA Visitors**

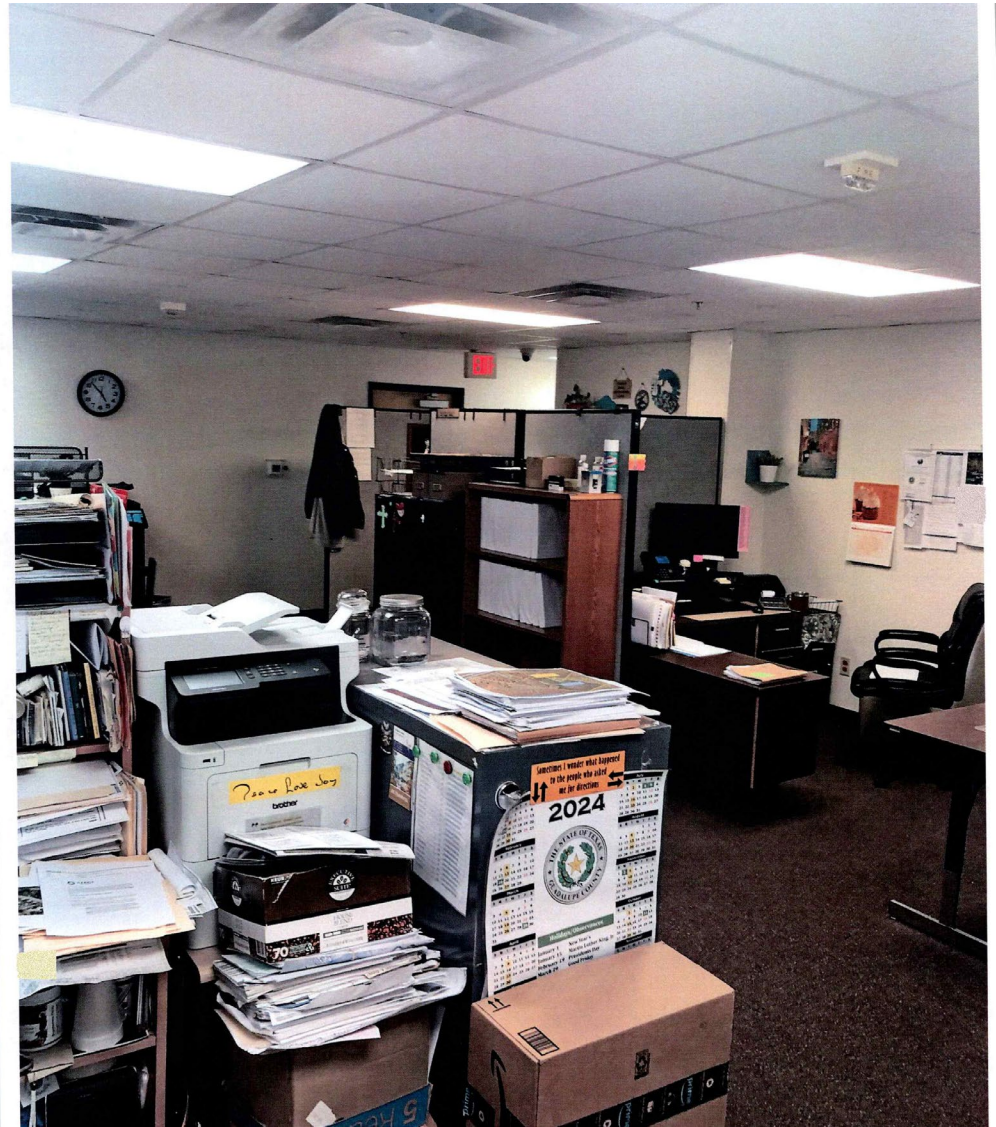


Parking Lot

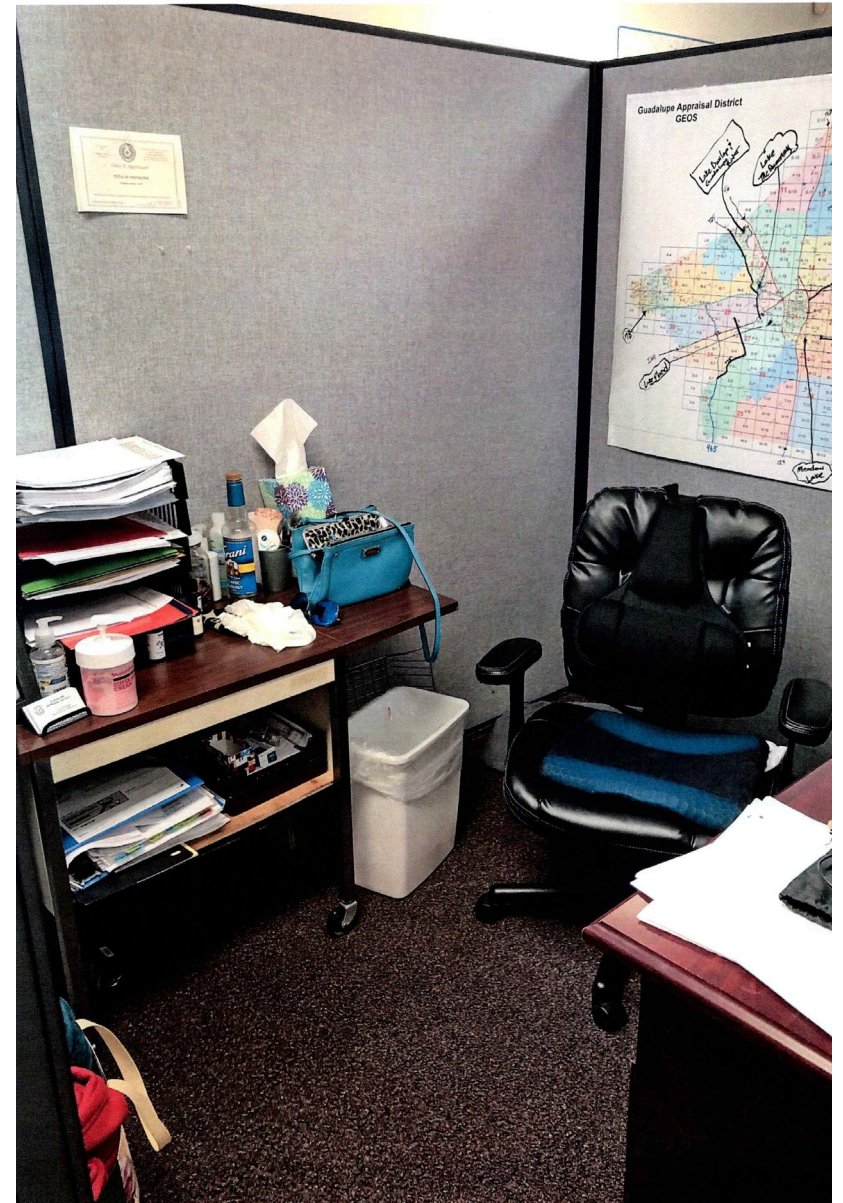
(Ingress/ Egress)

Workstations

Deeds & Exemptions



Cubicle Workstation





Inadequate Restrooms

IT Workstation and Server Room

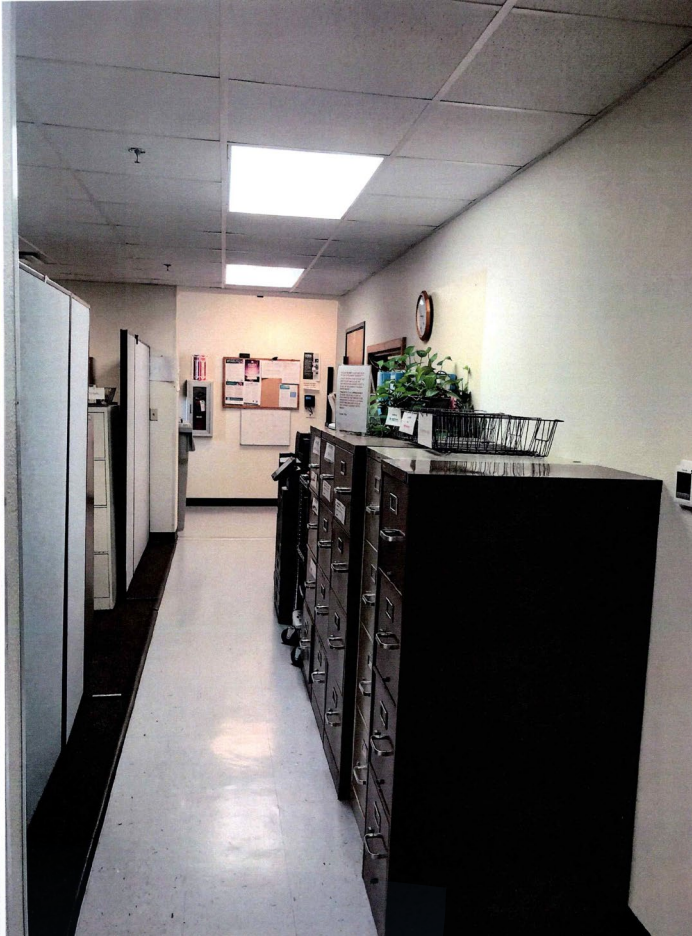


Undersized Mail Room



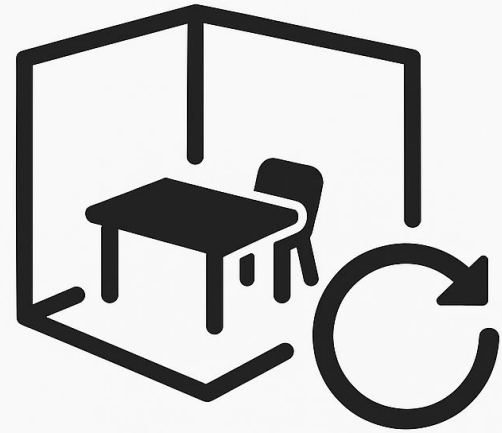
Insufficient Breakroom





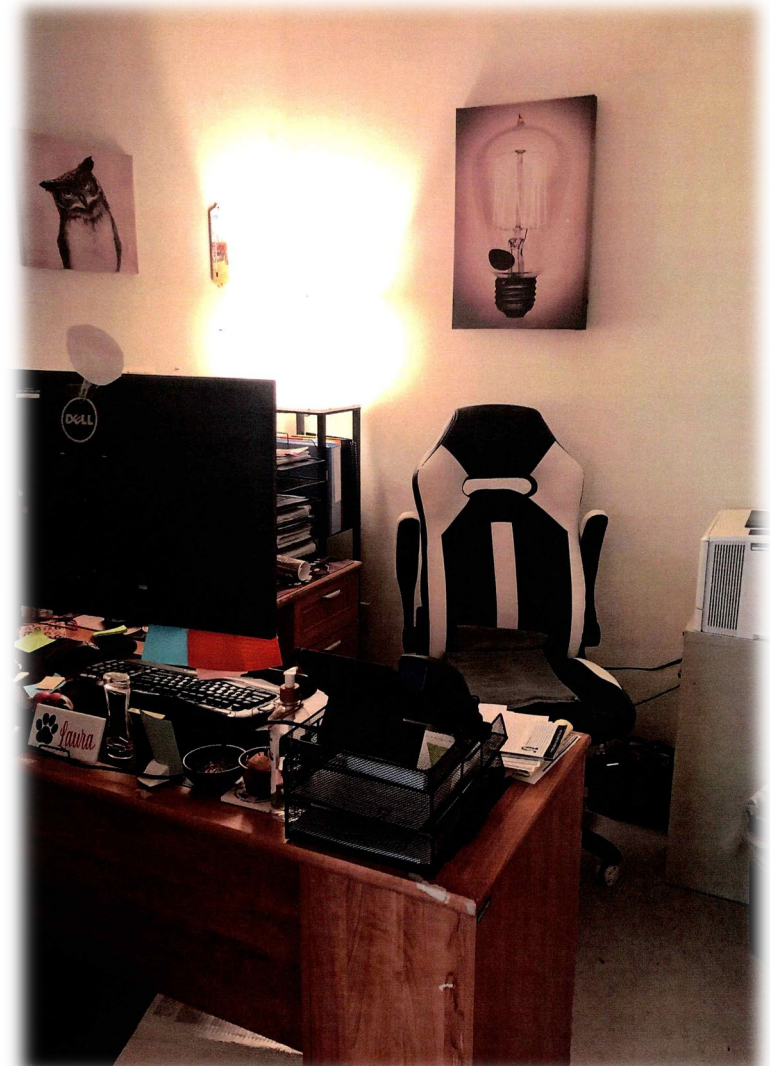
Restrictive Walkways

Repurposed Spaces: A Growing Trend





Repurposed Supervisory Offices



Repurposed Storage Closets



Administrative Overflow Workstations

Conference Room Limitations



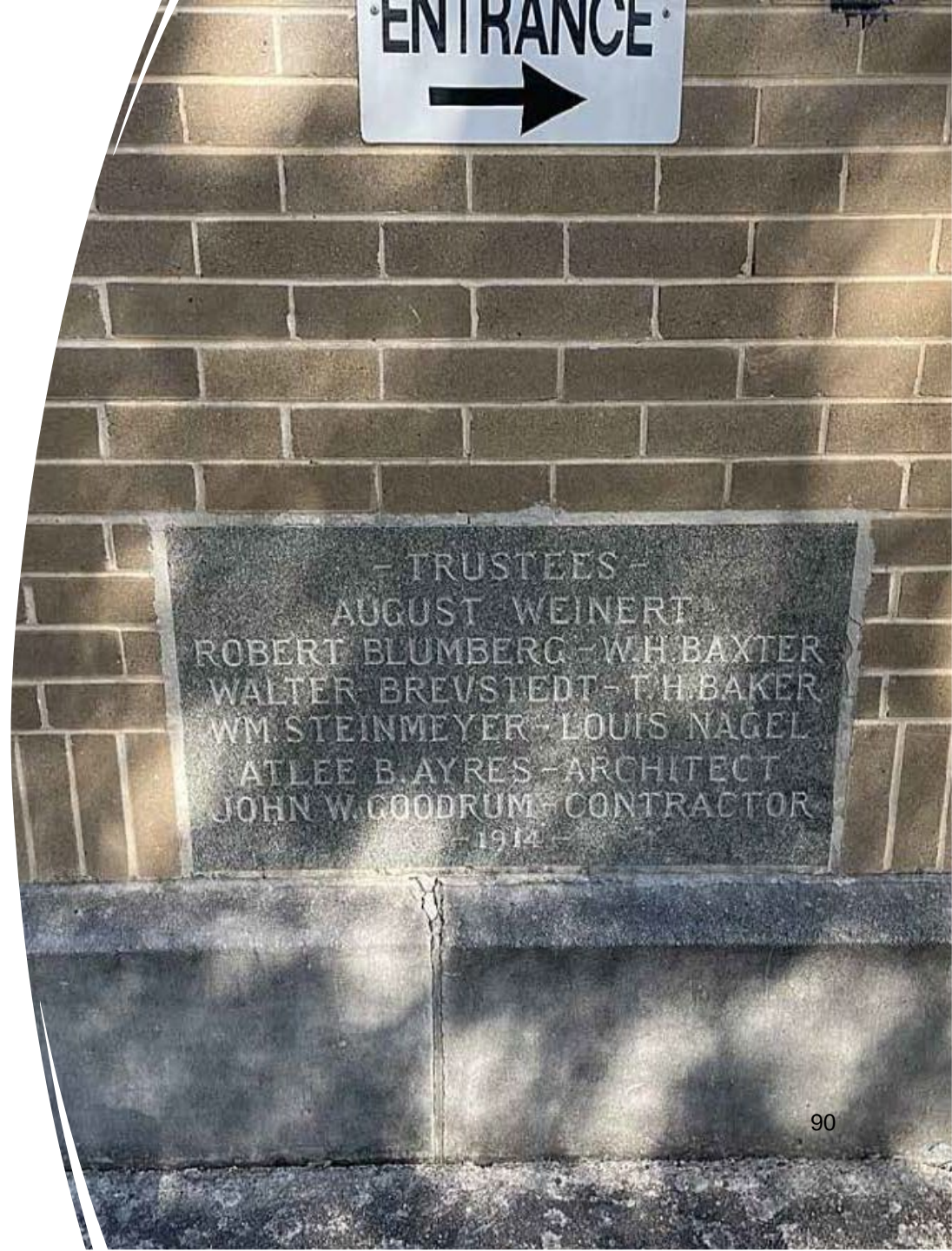


Loss of Public Research Room

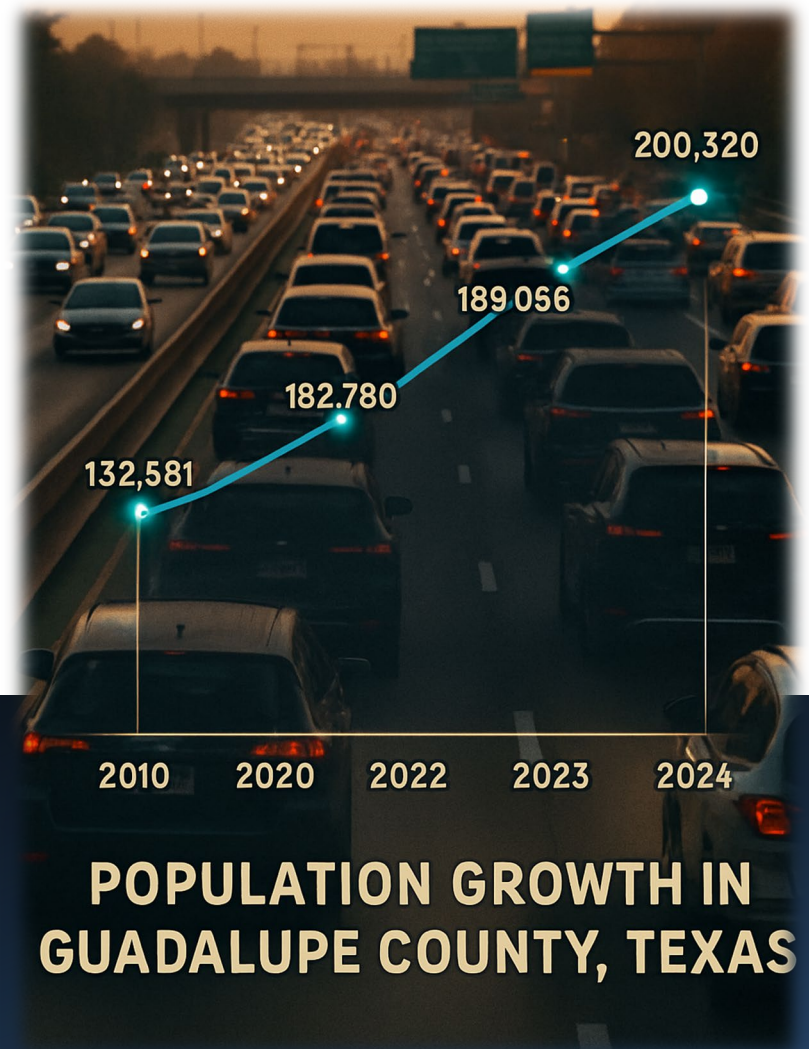


Proposed Acquisition & Renovation of 216 E. College Street

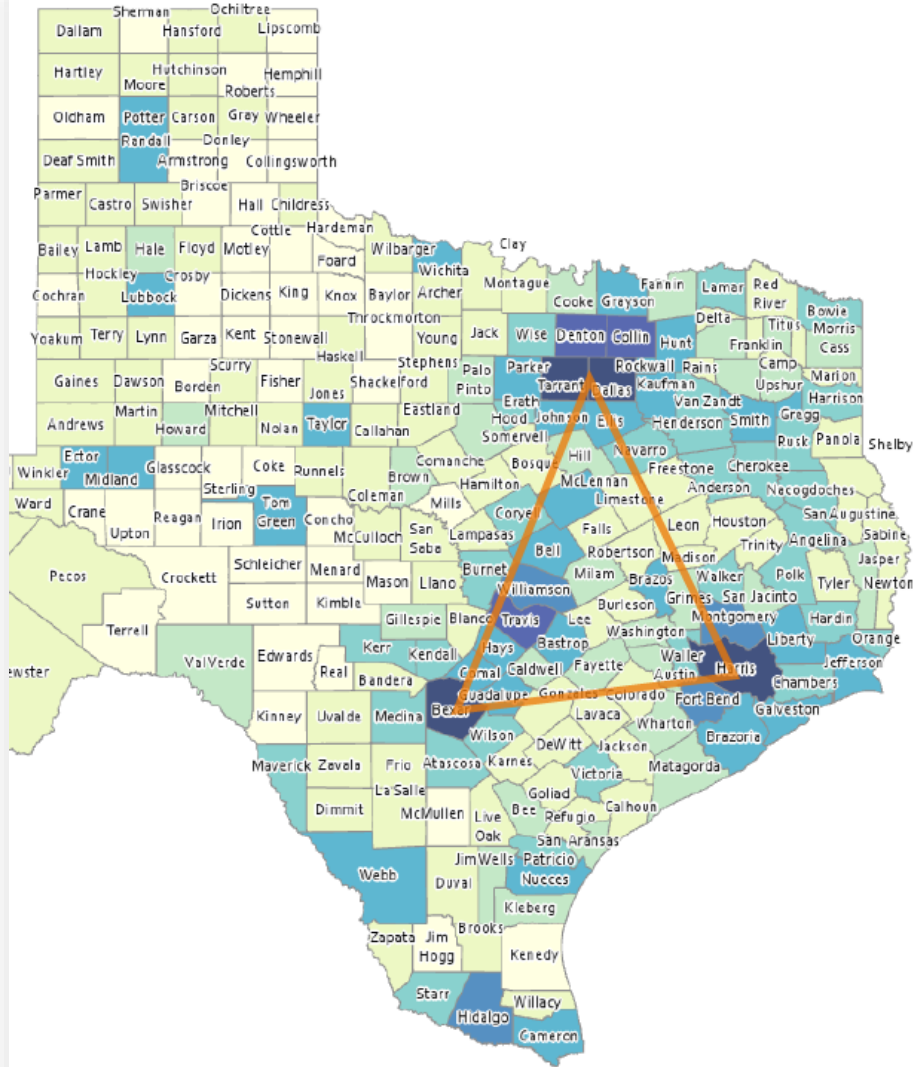
A Strategic
Facilities Solution
for Guadalupe
Appraisal District



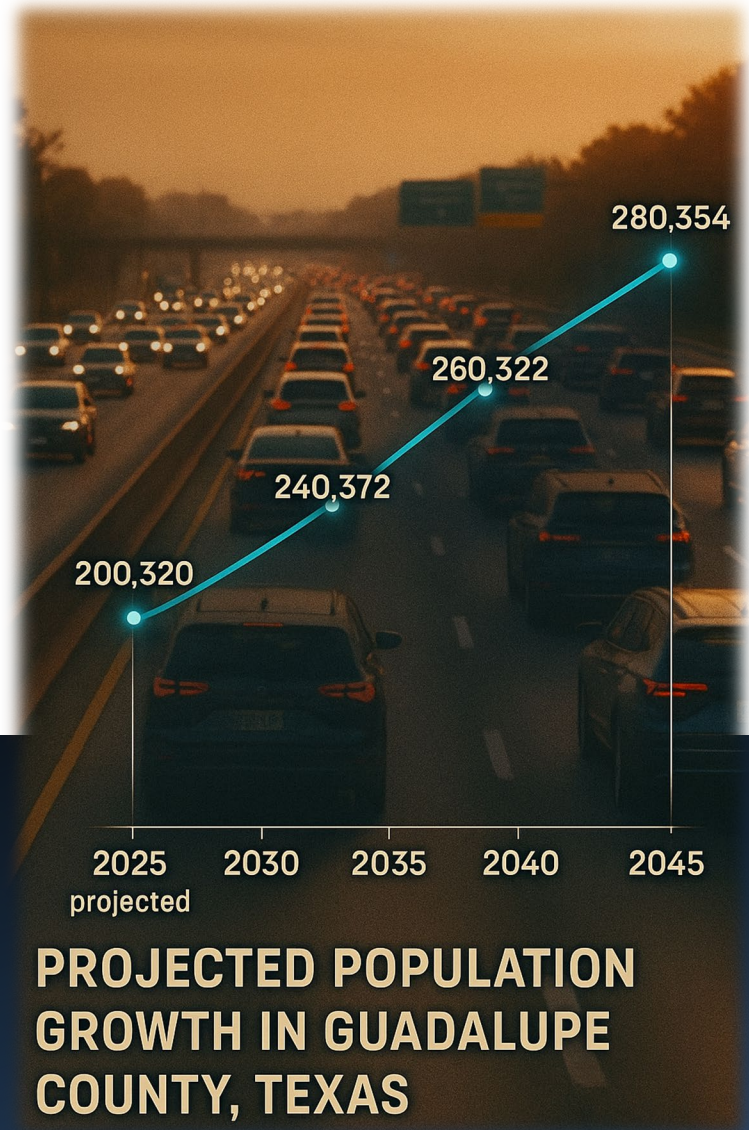
Surging Numbers....



Its Geometry!



.....Growing Needs



Strategic Planning for Growth & Modernization

Planning Period

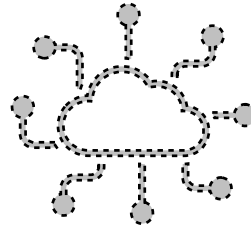
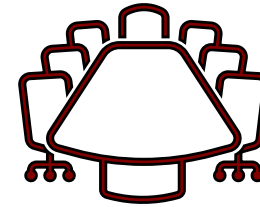
2025 - 2045

Facility Space	<i>Expand square footage; integrate public-facing service areas</i>
Technology	<i>Scalable CAMA system, GIS, exemptions/ application online portals</i>
Staffing	<i>Grow appraisal and customer support staff by 30-50%</i>
Public Services	<i>Increase virtual services, multilingual access, self-service kiosks</i>
Training	<i>Quarterly Open to Public training sessions, host continuing education seminars</i>

Tier 1
Appraisal
District

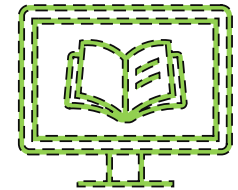
Operational
Requirements

**Personnel & Office
Infrastructure**



**Appraisal and
Data Management**

**Customer Services
& Public Resources**

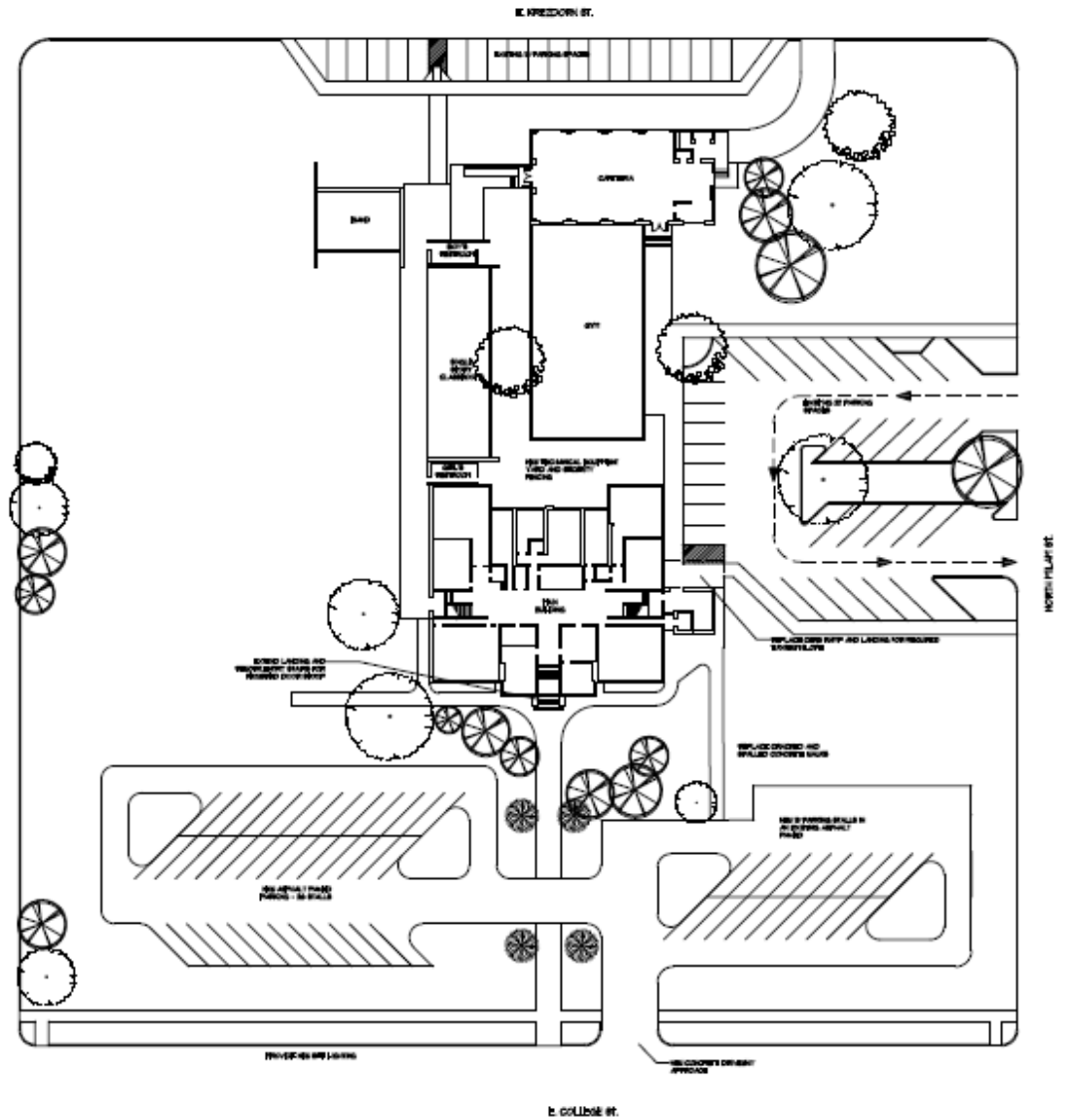


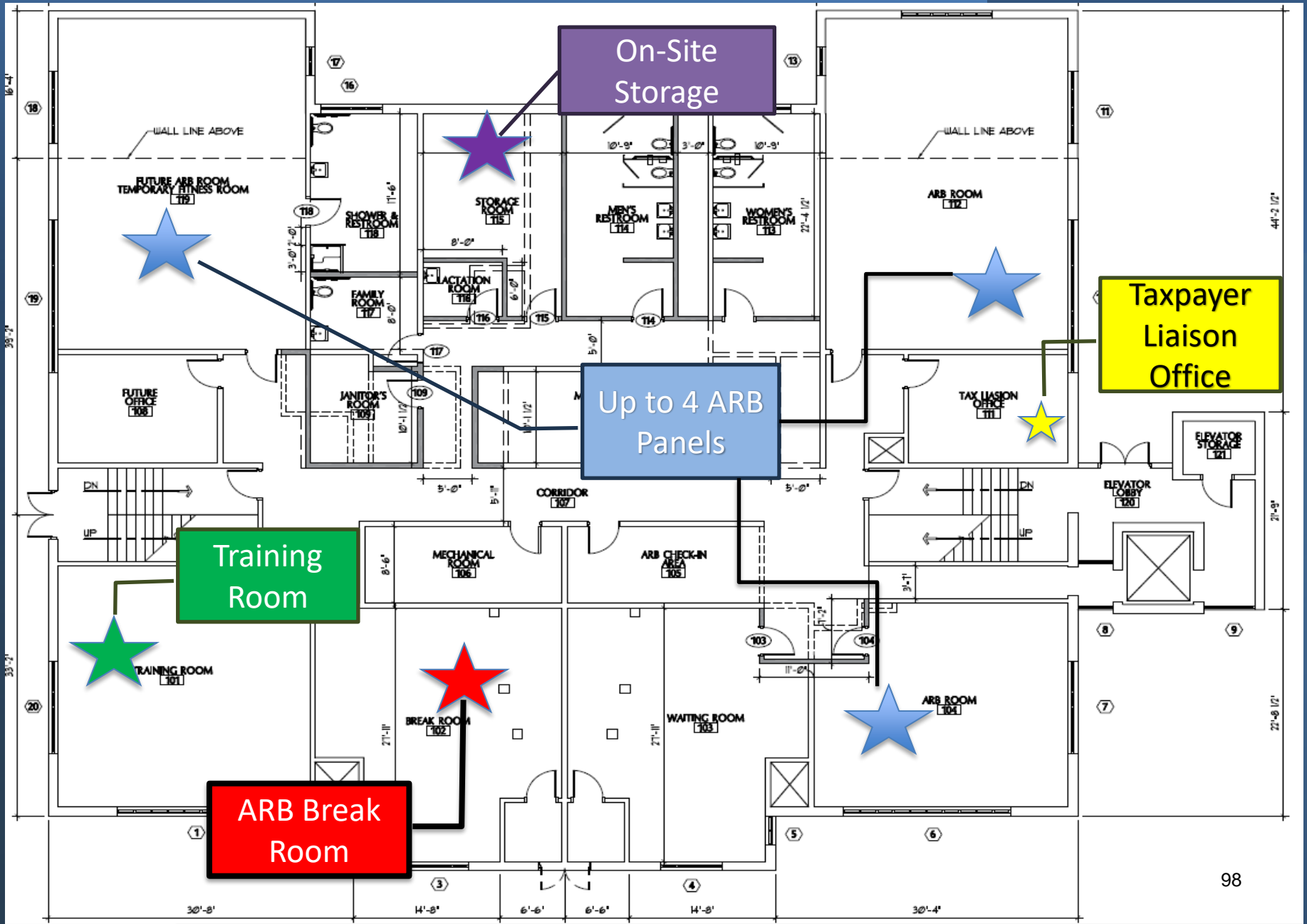
Taxpayer Remedies



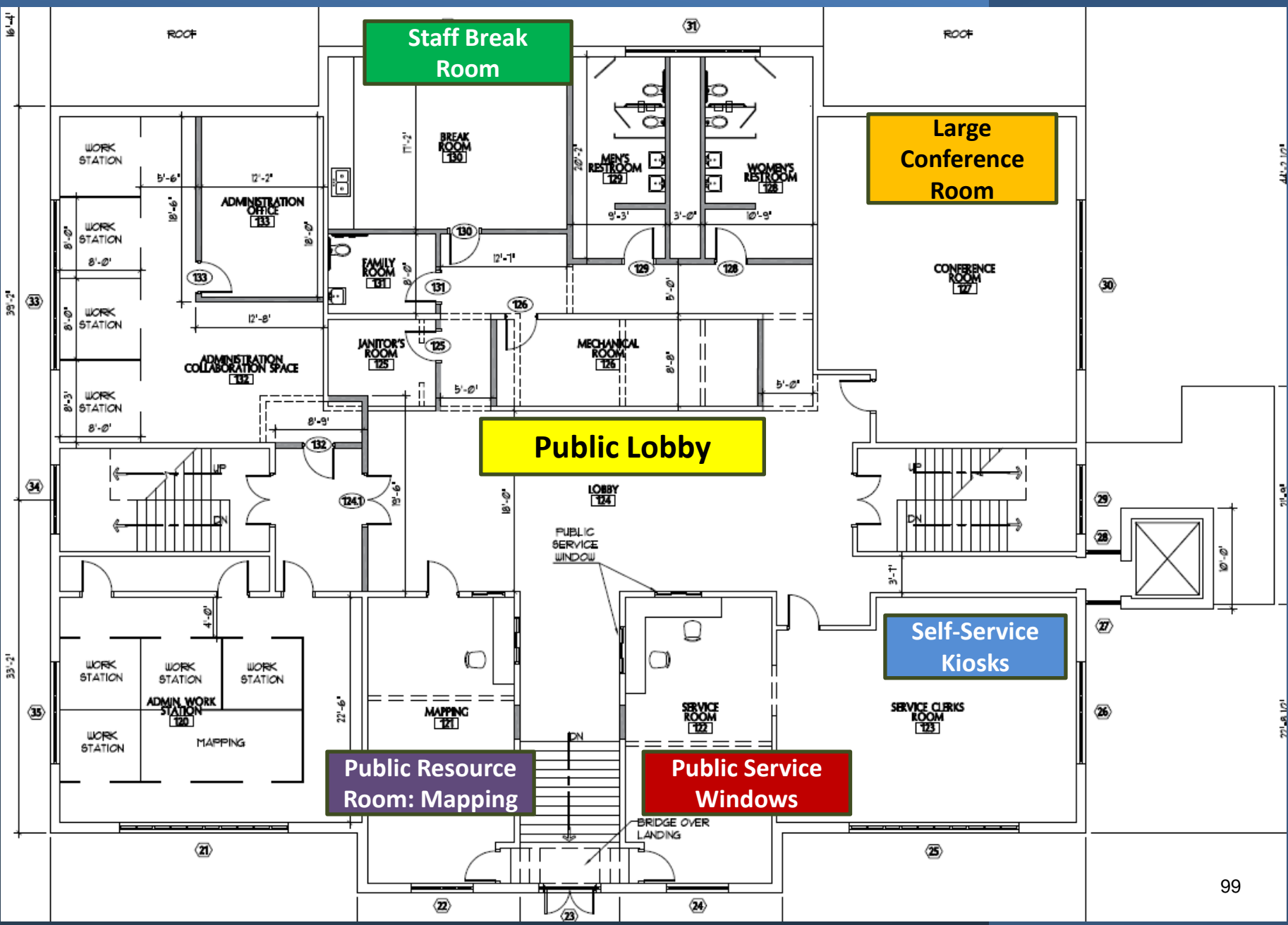
Proposal: *Purchase and Renovation of 216 E. College Street*

Campus Site Plan

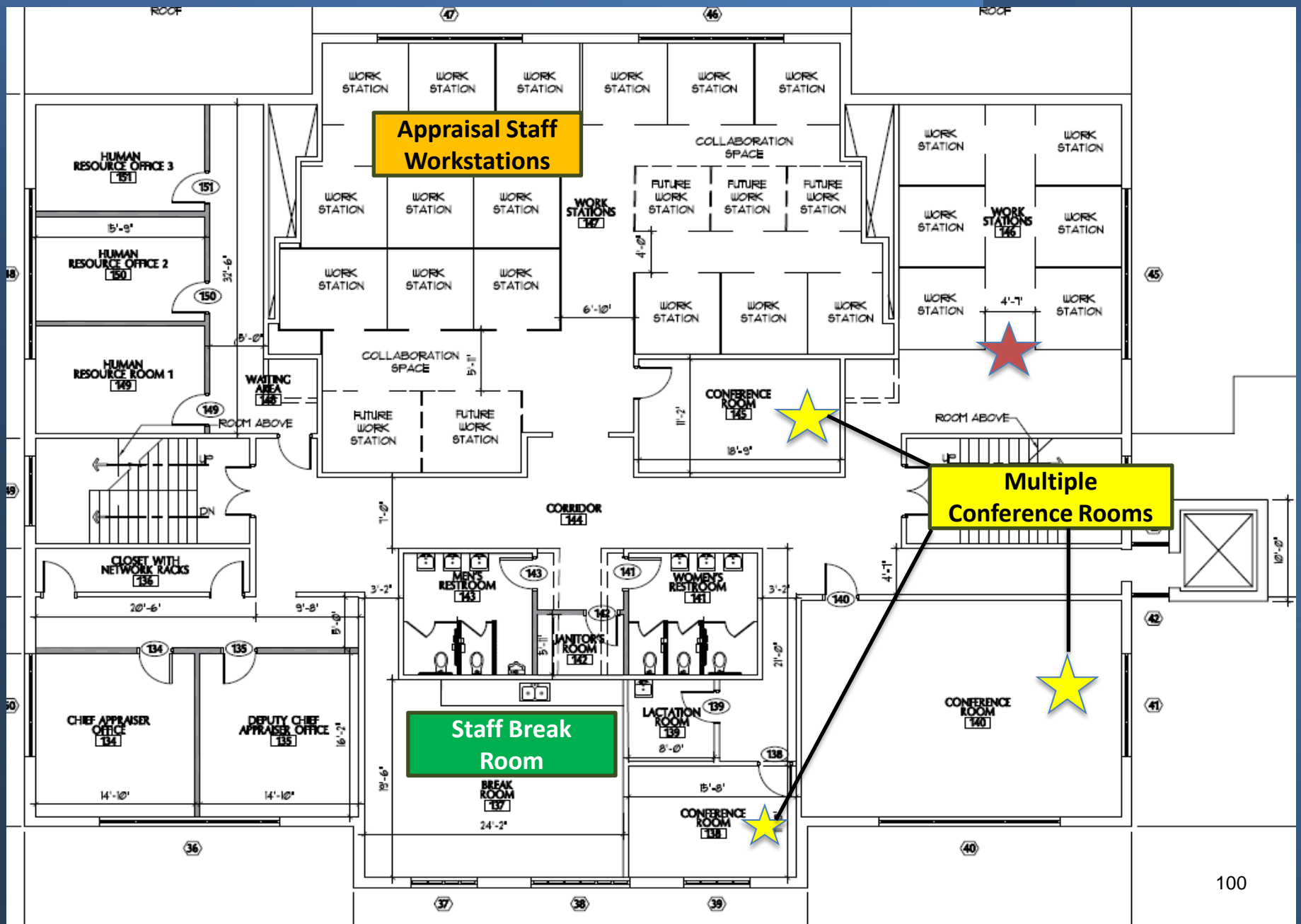




Lower Level



Second (Main) Level

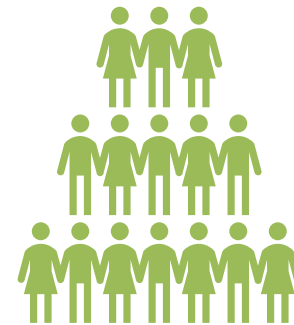


Third Level

Staffing Projections



Suggested increase of 30-50% over course of 20-year planning period



GAD projected to require 12 to 20 new full-time staff members

Taxpayer Remedies



ANNUAL PROTESTS PROJECTED TO
INCREASE TO 40,000 BY 2045



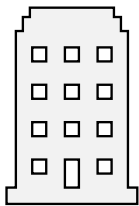
STATE LAW REQUIRES AN INFORMAL
CONFERENCE UPON REQUEST

Probable
Cost
Projections

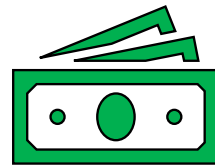
<i>Site Acquisition</i>	\$1,895,000
<i>Opinion of Probable Renovation Cost</i>	<u>\$8,401,765</u>
<i>Grand Total</i>	<u>\$10,296,765</u>
<i>Annual Taxing Unit Funding Increase</i>	16.30%
<i>As a % of Total Levy*</i>	0.2383%

****Overall Taxing Unit Funding Increase
is less than a quarter of a percent.***

Cost Mitigation Projections



Sale of Current Facility



Dedication of Annual
Unspent Budget Funds



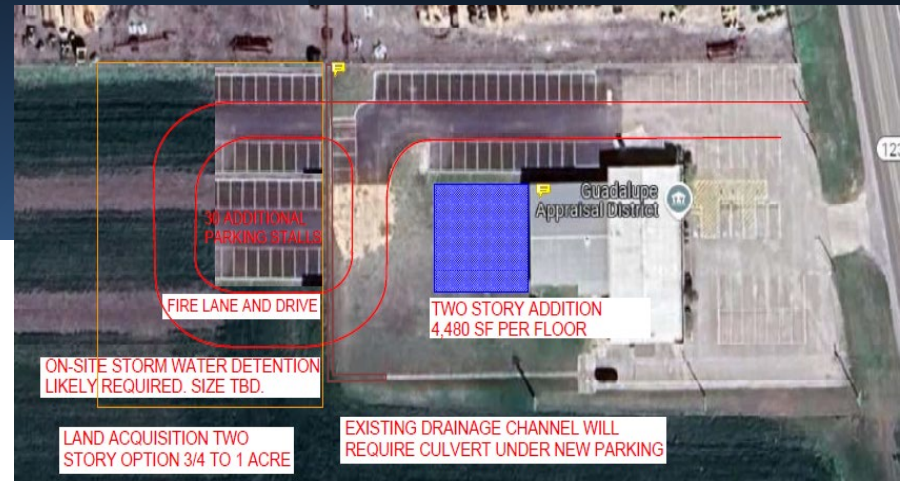
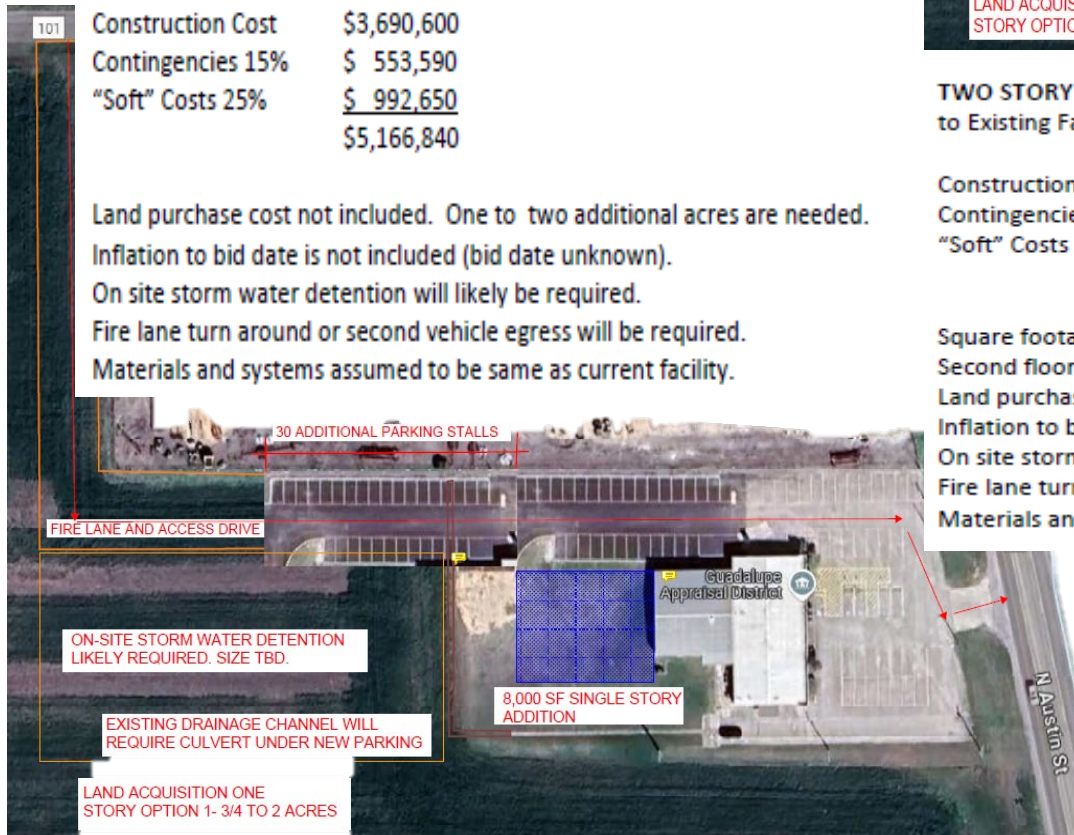
Dedication of Earned
Interest

Alternate Options

SINGLE STORY 8,000 SF ADDITION to Existing Facility Including 30 Additional Parking Stalls

Construction Cost	\$3,690,600
Contingencies 15%	\$ 553,590
"Soft" Costs 25%	<u>\$ 992,650</u>
	\$5,166,840

Land purchase cost not included. One to two additional acres are needed.
 Inflation to bid date is not included (bid date unknown).
 On site storm water detention will likely be required.
 Fire lane turn around or second vehicle egress will be required.
 Materials and systems assumed to be same as current facility.



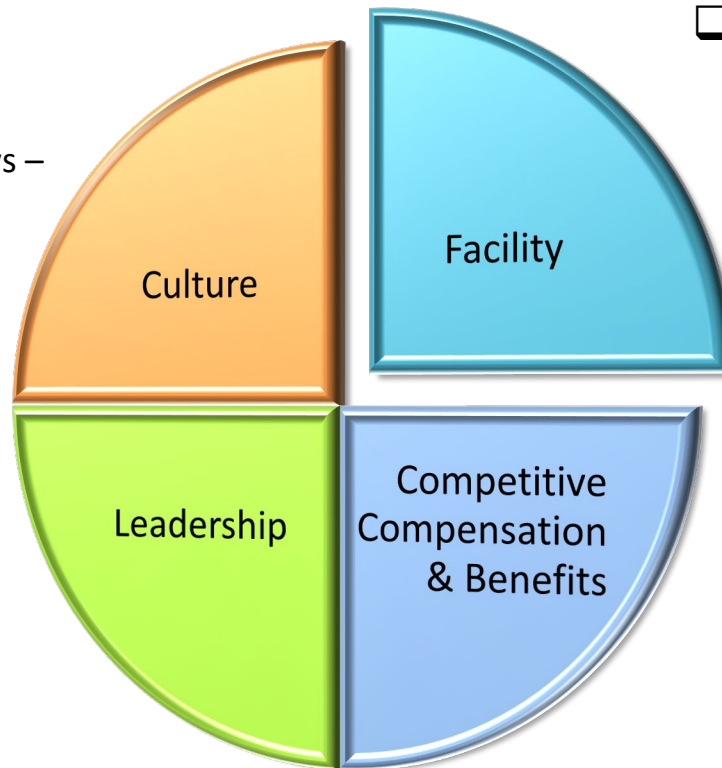
TWO STORY 8,960 SF ADDITION to Existing Facility Including 30 Additional Parking Stalls, 2ND Floor Shell Space

Construction Cost	\$3,580,827
Contingencies 15%	\$ 537,124
"Soft" Costs 25%	<u>\$ 895,207</u>
	\$5,013,158

Square footage increased to account for elevator and 2 stairs.
 Second floor not finished out initially. No a/c, no plumbing, limited electrical.
 Land purchase cost not included. At least one additional acre is needed.
 Inflation to bid date is not included (bid date unknown).
 On site storm water detention will likely be required.
 Fire lane turn around or second vehicle egress will be required.
 Materials and systems assumed to be same as current facility.

Final Thoughts

- ✓ Successfully Passed Annual Comptroller Oversight Reviews – 2008 to Present



- Modernized facility, Sufficient space to meet demands of growth for next 20 years.

- ✓ Executive Management Team: An Average of 22 years in Service to District

- ✓ Implemented Grade & Step System in 2025 bringing compensation to competitive marketplace levels.

Questions....



Peter Snaddon

(830) 303-3313 Ext. 307

psnaddon@guadalupead.org

RESOLUTION NO.

APPROVAL OF GUADALUPE APPRAISAL DISTRICT REAL ESTATE ACQUISITION AND RENOVATION OF 216 E. COLLEGE STREET IN SEGUIN, TEXAS AS FUTURE SITE FOR APPRAISAL DISTRICT OPERATIONS

WHEREAS, the Texas Property Tax Code, Section 6.051, permits an appraisal district to acquire real property by purchase or lease, convey real property, and construct or renovate buildings or other improvements for the purpose of establishing and operating an appraisal office or branch appraisal office; and

WHEREAS, Section 6.051 requires that the board of directors of an appraisal district propose the property transaction by resolution, which must be approved by the governing bodies of three-fourths of the taxing units entitled to vote on the appointment of board members; and

WHEREAS, the governing body of Seguin Independent School District received notification of the resolution adopted by the Board of Directors of the Guadalupe Appraisal District as required by Section 6.051; and

WHEREAS, the purchase and renovation of the proposed real estate offers the most effective solution to provide the Guadalupe Appraisal District with a permanent location to serve the taxing units and taxpayers of Guadalupe County;

NOW, THEREFORE, BE IT RESOLVED that on this date, the Board of Trustees of the Seguin Independent School District:

1. **Approval of Acquisition and Renovation:** The Board of Trustees hereby approves by a majority vote in a public meeting the purchase and renovation project of a building for the Guadalupe Appraisal District's office situated in Guadalupe County, Texas, at 216 E. College Street in Seguin, Texas, as described in approved Resolution 2025-03 of the Board of Directors of the Guadalupe Appraisal District.
2. **Allocation of Proceeds from Sale of Existing Office:** Any proceeds from the sale of the existing office of the Guadalupe Appraisal District located at 3000 N. Austin Street in Seguin, Texas be allocated to the Guadalupe Appraisal District's dedicated reserve fund for future payments towards the proposed building purchase and renovations.

BE IT FURTHER RESOLVED that this document be filed with the Chief Appraiser of the Guadalupe Appraisal District on or before the 30th day after receipt of notification of the aforementioned resolution.

PASSED AND APPROVED this 20th day of May 2025.

[Name]
[Title]

ATTEST:

[Name]
[Title]

Guadalupe Appraisal District

3000 North Austin Street
Seguin, Texas 78155
(830) 303-3313 Opt. 1
(830) 372-2874 (Fax)



To the Honorable Governing Bodies of Guadalupe County Taxing Units,

The Guadalupe Appraisal District Board of Directors (**BOD**) has adopted Resolution 2025-03 proposing the acquisition and renovation of the historic Mary B. Erskine Building located at **216 East College Street, Seguin, Texas**, as the future headquarters of the Appraisal District.

The property is under contract for **\$1,895,000**, and a recent independent fee appraisal has established its market value at **\$1,960,000** as of March 24, 2025. This 39,273-square-foot structure originally built in 1914 and situated on a 4-acre block—offers a strategic and cost-effective opportunity to secure a permanent facility capable of serving Guadalupe County’s rapidly growing taxpayer base.

As detailed in the attached **Mary Erskine Building Assessment Report** (dated May 6, 2025), the facility requires extensive renovation and modernization to be repurposed for government administration and public services. The **total Probable Project Cost is estimated at \$8,401,765**, which includes design, construction, project management, contingency, and all associated costs necessary to bring the facility into full operational use.

Pursuant to **Section 6.051 of the Texas Property Tax Code**, this real estate acquisition and renovation project must be approved by the governing bodies of **three-fourths of the taxing units** entitled to vote on the appointment of the appraisal district’s board of directors.

Enclosed you will find:

1. The copy of adopted BOD **Resolution 2025-03** (pg. 3)
2. A **Resolution Template** for formal adoption by your governing body (pg. 4)
3. The **Mary Erskine Building Assessment Report** (pg.5)
4. An addendum outlining **alternate options considered** (pg. 115)

Please note: Each taxing unit’s share of the funding responsibility for this project will be proportionate to its respective percentage of the Guadalupe Appraisal District’s **annual approved budget**. This ensures equity in participation aligned with each entity's operational support level. Current budget allocation percentages are provided below signature block.

Several taxing units have already scheduled time for the Chief Appraiser to provide a formal presentation. We are happy to accommodate any additional requests for briefings or discussions and encourage your office to contact us directly.

We respectfully request that this item be placed on your next available agenda for consideration. In accordance with Section 6.051 of the Texas Property Tax Code, **the approval resolution must be returned to the Guadalupe Appraisal District within 30 days from the date this request is formally presented to your governing body at a posted public meeting.**

Thank you for your attention to this matter and for your continued support of the Guadalupe Appraisal District’s mission to serve the taxpayers and taxing units of our community.

Sincerely,

Peter Shaddon, R.P.A., C.C.A.
 Chief Appraiser
 Guadalupe Appraisal District

Current Budget Allocation Breakdown

<u>Taxing Unit Name</u>	<u>Allocation %</u>	<u>Taxing Unit Name</u>	<u>Allocation %</u>
Guadalupe County	20.61716%	Lone Oak MUD	0.26365%
Schertz-Cibolo UC ISD	20.00736%	City of Marion	0.13325%
Seguin ISD	15.56632%	Prairie Lea ISD	0.10910%
City of Seguin	6.29898%	Lake Dunlap WCID	0.08160%
New Braunfels ISD	5.88018%	City of Universal City	0.07843%
Navarro ISD	5.83841%	City of Santa Clara	0.03506%
City of Schertz	5.53983%	Meadow Lake WCID #1	0.02689%
City of Cibolo	5.20226%	Nixon-Smilely ISD	0.02251%
Marion ISD	5.07129%	City of Luling	0.01105%
Comal ISD	3.35424%	York Creek Water Dist.	0.00934%
City of New Braunfels	2.69376%	Guadalupe County MUD#4	0.00877%
San Marcos ISD	0.99320%	City of San Marcos	0.00480%
Lake McQueeney WCID #1	0.60407%	Sky Ranch MUD*	0.00470%
Lake Placid WCID #1	0.52380%	Guadalupe County MUD #9*	0.00054%
LaVernia ISD	0.38755%	Guadalupe County MUD06*	0.00042%
City of Selma	0.35378%	Guadalupe County MUD10*	0.00006%
Luling ISD	0.27765%		<u>100.00%</u>

Ineligible Tax Units: TX Tax Code §6.051(b) The acquisition or conveyance of real property or the construction or renovation of a building or other improvement by an appraisal district must be approved by the governing bodies of three-fourths of the **taxing units entitled to vote on the appointment of board members.*

Guadalupe Appraisal District



RESOLUTION 2025-03

A RESOLUTION OF THE BOARD OF DIRECTORS OF THE GUADALUPE APPRAISAL DISTRICT REGARDING THE ACQUISITION AND RENOVATION OF 216 E. COLLEGE STREET, SEGUIN, TEXAS, AS THE FUTURE SITE FOR APPRAISAL DISTRICT OPERATIONS

WHEREAS, the current location of the Guadalupe Appraisal District is no longer adequate in size or functional utility to meet the needs of the taxing units and taxpayers; and

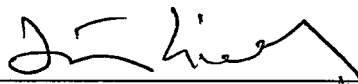
WHEREAS, the property located at 216 E. College Street, Seguin, Texas, has been identified as a suitable location that provides adequate space to meet these needs; and

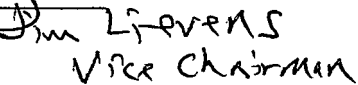
WHEREAS, Section 6.051 of the Texas Property Tax Code authorizes the Board of Directors of an appraisal district to purchase or lease real property and to construct or renovate improvements as necessary to establish and operate the appraisal office;

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF DIRECTORS OF THE GUADALUPE APPRAISAL DISTRICT:

1. **Approval of Acquisition and Renovation:** The Board of Directors hereby approves the acquisition and renovation of the property located at 216 E. College Street, Seguin, Texas, for use as the future site of the Guadalupe Appraisal District operations.
2. **Notification and Approval:** The Chief Appraiser is directed to notify the presiding officer of each governing body entitled to vote on the approval of this proposal, as required by Section 6.051 of the Texas Property Tax Code. The notification shall include a copy of this resolution and information showing the costs of other available alternatives to the proposal.
3. **Implementation:** Upon receiving the necessary approvals from the governing bodies of three-fourths of the taxing units entitled to vote on the appointment of board members, the Chief Appraiser is authorized to proceed with the acquisition and renovation of the property.
4. **Effective Date:** This resolution shall take effect immediately upon its passage.

PASSED AND APPROVED this 7th day of May 2025.


Charles O. Kelm, Chairman
G.A.D. Board of Directors


Jim Livens
Vice Chairman

ATTEST:


Daryl John, Secretary

G.A.D. Board of Directors

RESOLUTION NO.

APPROVAL OF GUADALUPE APPRAISAL DISTRICT REAL ESTATE ACQUISITION AND RENOVATION OF 216 E. COLLEGE STREET IN SEGUIN, TEXAS AS FUTURE SITE FOR APPRAISAL DISTRICT OPERATIONS

WHEREAS, the Texas Property Tax Code, Section 6.051, permits an appraisal district to acquire real property by purchase or lease, convey real property, and construct or renovate buildings or other improvements for the purpose of establishing and operating an appraisal office or branch appraisal office; and

WHEREAS, Section 6.051 requires that the board of directors of an appraisal district propose the property transaction by resolution, which must be approved by the governing bodies of three-fourths of the taxing units entitled to vote on the appointment of board members; and

WHEREAS, the governing body of Seguin Independent School District received notification of the resolution adopted by the Board of Directors of the Guadalupe Appraisal District as required by Section 6.051; and

WHEREAS, the purchase and renovation of the proposed real estate offers the most effective solution to provide the Guadalupe Appraisal District with a permanent location to serve the taxing units and taxpayers of Guadalupe County;

NOW, THEREFORE, BE IT RESOLVED that on this date, the Board of Trustees of the Seguin Independent School District:

1. **Approval of Acquisition and Renovation:** The Board of Trustees hereby approves by a majority vote in a public meeting the purchase and renovation project of a building for the Guadalupe Appraisal District's office situated in Guadalupe County, Texas, at 216 E. College Street in Seguin, Texas, as described in approved Resolution 2025-03 of the Board of Directors of the Guadalupe Appraisal District.
2. **Allocation of Proceeds from Sale of Existing Office:** Any proceeds from the sale of the existing office of the Guadalupe Appraisal District located at 3000 N. Austin Street in Seguin, Texas be allocated to the Guadalupe Appraisal District's dedicated reserve fund for future payments towards the proposed building purchase and renovations.

BE IT FURTHER RESOLVED that this document be filed with the Chief Appraiser of the Guadalupe Appraisal District on or before the 30th day after receipt of notification of the aforementioned resolution.

PASSED AND APPROVED this 20th day of May 2025.

[Name]
[Title]

ATTEST:

[Name]
[Title]

MARY ERSKINE BUILDING ASSESSMENT

FOR THE GUADALUPE COUNTY APPRAISAL DISTRICT

MAY 6, 2025



INTERIM REVIEW / CONCEPT DESIGN. NOT INTENDED FOR BIDDING, PERMITTING OR CONSTRUCTION.
DEBRA J. DOCKERY, TEXAS ARCHITECT REGISTRATION #11930.



**MARY ERSKINE BUILDING ASSESSMENT
FOR THE GUADALUPE COUNTY APPRAISAL DISTRICT
MAY 6, 2025**

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- H. Mechanical, Electrical and Plumbing Assessment
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 - Site Survey
 - Appraiser Area Calculations
 - Asbestos Containing Materials Report
 - Elevator Assessment
 - Plumbing Lines Camera Results

Prepared by:

Debra J. Dockery, Architect, P.C.
118 Broadway, Suite 516
San Antonio, Texas 78205
(210) 225-6130

With

Calculated Legacy Consulting Engineers, MEP Engineer



MARY ERSKINE BUILDING ASSESSMENT

PROJECT INFORMATION AND
EXISTING CONDITIONS



**MARY ERSKINE BUILDING ASSESSMENT
SEGUIN, TEXAS**

Project Introduction

The Mary Erskine Building in Seguin, Texas was initially constructed in 1914 for the Seguin Independent School District High School. In subsequent years, the building became an elementary campus and then a vocational/technical school. More recently the building was acquired by a private investor. The Guadalupe County Appraisal District is considering purchasing the building to relocate its Seguin Headquarters. The agency has outgrown the current facilities and expansion opportunities in the present location are limited. Debra J. Dockery, Architect, P.C. was contracted to provide this assessment of the improvements needed to accommodate the Appraisal District offices should the purchase move forward.

The site is a full 4-acre block in the downtown area of Seguin. The original 1914 building is three stories and comprised of former classrooms and offices. Later additions to the campus include a single-story classroom building, a band hall, and combination gymnasium, auditorium with stage, cafeteria and kitchen building. The site currently has 32 parking spaces in a paved lot on the east side and 18 parking spaces on the north. There is a concrete paved basketball court, abandoned swing sets, and evidence of a former athletic track.

The design team was tasked with developing a space program that reflects the actual space needs and adjacencies for each department and developing interior reorganization floor plans that provide a concept for the occupancy by the Appraisal District.

This assessment focused on the original three-story building as the facility the Appraisal District would occupy first. An evaluation of existing mechanical, electrical and plumbing systems was conducted to determine repairs necessary to reoccupy the building. A building code analysis and disabled accessibility review were prepared to determine needed upgrades.

Existing Conditions

Area*	Main Building Ground Floor	9,060 SF
	Main Building Second / Main Floor	8,910 SF
	Main Building Third Flor	<u>8,910 SF</u>
		26,880 SF
	Single Story Classroom & Band Hall	4,231 SF
	Gymnasium/Cafeteria	8,162 SF
	Total For Campus	39,273 SF

*Areas provided by Guadalupe Appraisal District

Date Constructed	Original section - 1914. Additions - assumed 1960's.
Construction	Concrete foundations, (first floor of Main Building is partially below grade), concrete framed columns, beams, floor, roof and stair structure, brick veneer on masonry walls, interior plaster and gypsum board walls, original wood flooring in most rooms, suspended acoustical ceilings retrofitted when the building received air conditioning.

Renovation Program Goals

- Designate a main public entrance and public service window near public parking and accessible to elevator.
- Provide consolidated public support areas (research and map room, public restrooms, meeting room).
- Relocate departments with public service functions to be conveniently located near the main entrance.
- Designate rooms for Appraisal Review Board (ARB) hearings that can be separated from the rest of the building with separate restrooms and waiting areas.
- Provide Appraiser work stations grouped by appraisal type.
- Centrally locate staff breakroom and restrooms for efficient and convenient access by all staff.
- Secure staff areas from public access areas.
- Review security aspects and improvements
- Provide budget recommendations for needed systems replacements and upgrades.
- Upgrade finishes and systems for a modern appearance.
- Investigate energy saving upgrades such as LED lighting.
- Consider immediate space needs and near future projected growth

Observations and Description of Proposed Scope of Work

General

1. Most existing interior walls may remain in the proposed interior reorganization.
2. For many areas where the existing door does not have required ADA clearance, the door may be removed as the spaces become open work stations.
3. There are existing restrooms on the First Floor. The recommendation is to completely remove all fixtures and finishes and replace with a new layout meeting ADA and public accommodation.
4. There are no restrooms on the Second Floor. As this floor will be the main public entry, it is proposed to add restrooms matching the first floor layout below for ease in stacking plumbing piping.
5. The restrooms on the Third Floor will be primarily for staff. These restrooms have ADA

compliance issues which may be addressed in a renovation.

6. Staff areas are consolidated and secured from public access on the First and Second Floors by walls separating the corridor and with controlled access doors.
7. The building has been retrofitted with a fire sprinkler system.
8. The HVAC systems, and the internal building power and lighting, telecommunications infrastructure and plumbing systems will be replaced. Service entries appear adequate for the renovation.
9. The elevator was inspected by a third party contacted by the Guadalupe Appraisal District. There are some issues to be addressed. See separate elevator assessment report.
10. The most recent asbestos report conducted in 2021 lists asbestos containing material in the window and door caulk and in vinyl composition tile. However, the location of the vinyl tile and the quantities in the report do not match the actual on-site observations. Perhaps some material has been removed since 2021. The previous asbestos report in 2018 listed asbestos containing material for duct work caulking and in duct work vibration dampers. It does not appear these materials have been removed since the 2018 report.

For this report, it is assumed asbestos abatement will be required if any vinyl floor tile is removed, any windows are replaced, or any ducts with caulking are removed. Should the Guadalupe Appraisal District proceed with the purchase of this building, it is recommended the testing for asbestos be conducted again to determine conclusively the extent of any asbestos containing material.

11. A previous assessment report conducted in 2018 noted water damage from roof leaks. The report was not specific to the areas damaged. No evidence of substantial water damage was observed. Only isolated areas of stained ceiling tiles were noted and these areas may have been the result of air conditioning condensate leaks. It was reported by the current building owner that the roofing system on the three story building was recently replaced. Aerial photos indicate the roofing is likely a TPO system and it does appear to be recent.
12. Camera investigation of plumbing lines from the first floor restrooms to the service mains or meters was recommended. The results of these investigations are attached. Most water and sewer piping within the building will be replaced with the expected reorganization of restrooms and breakrooms.

The lines outside the building have collapsed, most notably at the clean-outs. The amount of damage from the clean-outs did not allow the camera to survey the entire length of the piping to determine the extent of the damage. This report assumes the entire length of the sewer and water piping from the building to the City of Seguin mains will need to be replaced.

Single Story Classroom Building

A full assessment of the single story classroom building was not conducted with this report as the Guadalupe Appraisal District does not have immediate plans to occupy this building. General observations noted include:

- Rotted wood roof framing
- Roofing needs replacement
- Mechanical systems need replacement
- Restrooms could not be viewed but are assumed to need significant renovation
- Electrical lighting needs replacement
- Floor tile may be asbestos containing
- Ceilings and finishes need replacement

Gymnasium and Cafeteria Building

A full assessment of the Gymnasium and Cafeteria building was also not conducted with this report. The Guadalupe Appraisal District does not have immediate plans to occupy this building but has considered that the gym may be rented to community groups. Observations include:

- There are no restrooms in this building. If the space were rented to outside groups, alternate provisions would be required.
- Metal roofing needs to be coated or replaced
- Mechanical systems need replacement
- Lighting systems need to be replaced
- The gym floor is concrete. A suitable court flooring may be considered in the future
- There are no basketball goals currently in place
- The space includes a platform stage with ornate plaster work
- All appliances in the former kitchen have been removed and utility connections capped or abandoned.

Recommended Scope of Work for Main Building

Site Work

- The front entry curb ramp and door landings exceed the maximum slopes for ADA
- Many areas of the concrete sidewalks to the building are cracked, spalled and uneven
- Rework concrete front entry steps for compliant entry
- Additional parking will need to be constructed. Approximately 30 spaces may be retrofitted on the existing concrete paved basketball court. An additional 25 to 30 parking spaces will be needed to meet City of Seguin ordinances.
- Remove abandoned swing sets and other playground equipment.
- Improve site lighting for better security.
- New mechanical systems will require additional outdoor areas with concrete pads and better security fencing.
- Existing roof downspouts drain across public sidewalks which can cause slippery, unsafe conditions.
- Consider installing sidewalk trench drains to divert drainage to grassy areas.

Consider securing the one-story building and gymnasium building with more substantial fencing
Consider landscape improvements including sod repair, tree trimming, additional trees and shrubs.

Exterior – Main Building

Clean brick and stone

Provide minor repointing of brick (repair noted in limited areas)

Repaint sheet metal work (downspouts, roof trims)

Consider replacing the existing windows with insulated units to reduce HVAC loads and provide better occupant comfort

If a new HVAC chiller / boiler central plant is installed, remove ground floor roof-top a/c, and replace this roofing.

(The main roofing is reported to be recently replaced. No leaks were detected and aerial photos seem to confirm the Main Building roof is more recent.)

Interior – Main Building

The following ADA issues were noted:

- Stair handrails are not compliant

- Many interior doors lack the required clearance of the push and pull side of the door

- All restrooms have various non-compliant issues, but the recommended scope is to completely renovate all restrooms and add restrooms at the Second Level.

Replace all suspended ceilings with 2 x 2 acoustical lay-in systems. (This is necessary for HVAC and Electrical lighting replacement.)

Refinish wood floors

Repaint entire interior

Provide new interior walls as shown in the concept floor plans

Some cracks were noted at the front entry stairs in the joint between the structural concrete stair framing and the infill wall below. These appear to be cracks caused by differential movement of different materials.

Summary of Existing Building Systems

Foundation – assumed concrete pier and beam

Superstructure – concrete frame, columns, beams, flat floor plates

Stairs – concrete framed

Exterior walls – brick veneer and masonry back up (possibly structural clay tile)

Interior walls – assumed plaster on lath, gypsum board on studs

Flooring – wood flooring, vct, terrazzo in restrooms

Ceilings – suspended 2 x 4 retrofitted



Figure 1: Entry sidewalk & curb ramp



Figure 2: Front steps-landing



Figure 3: Exterior clean brick & stone



Figure 4: Repoint minor cracking of brick



Figure 5: Main building sidewalk



Figure 6: Main building swing sets

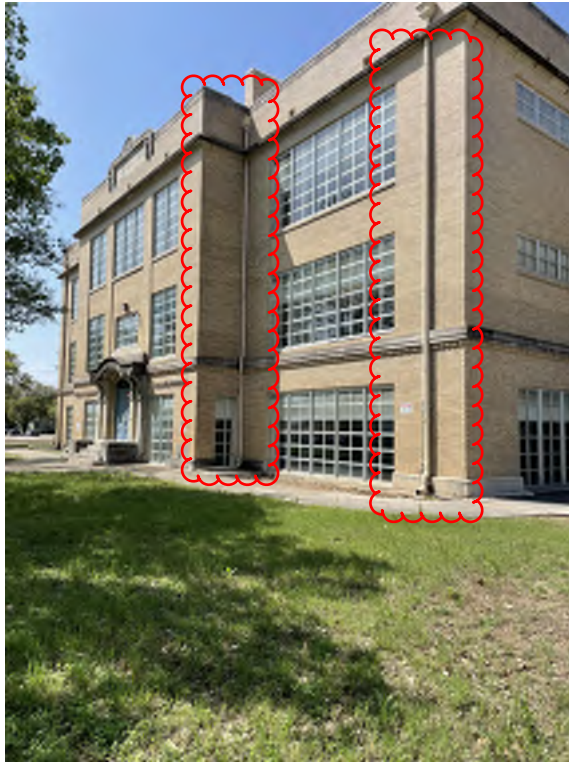


Figure 7: Consider installing trench drains for downspouts



Figure 8: Stair handrails in First Floor Basement



Figure 9: Stair handrails & AC unit not ADA complaint



Figure 10: First Floor Basement Elevator Hallway

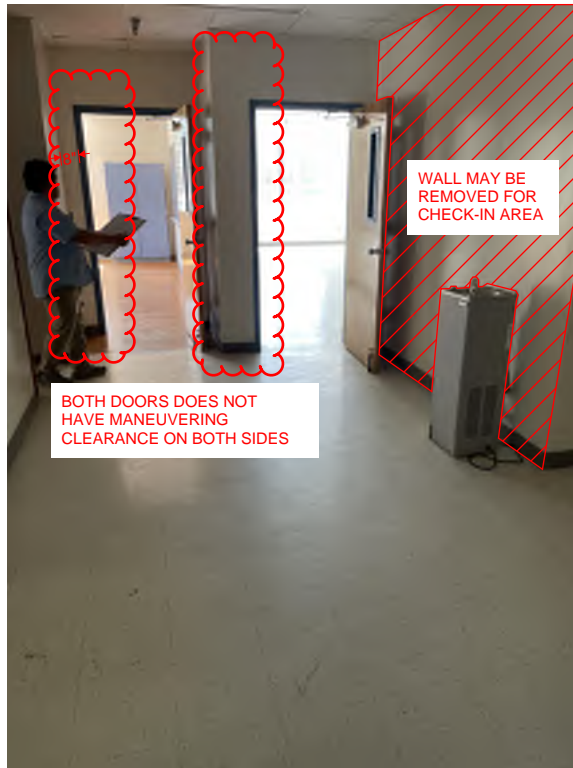


Figure 11: First Floor Basement interior doors



Figure 12: First Floor Basement interior doors



Figure 13: First Floor Basement Cracked Walls



Figure 14: First Floor Basement Girls Restroom



Figure 15: First Floor Basement Girls Restroom



Figure 16: First Floor Basement Boys Restroom

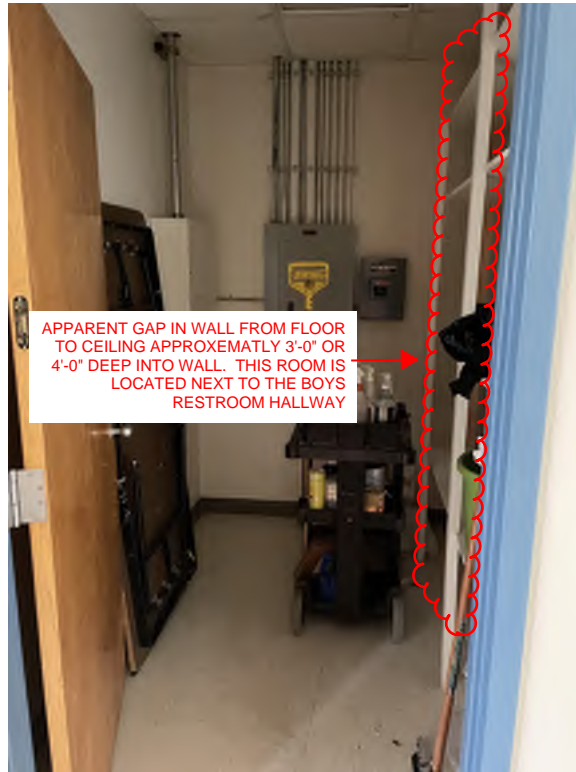


Figure 17: First Floor Basement Storage room next to Boys restroom



Figure 18: First Floor Basement Stairway

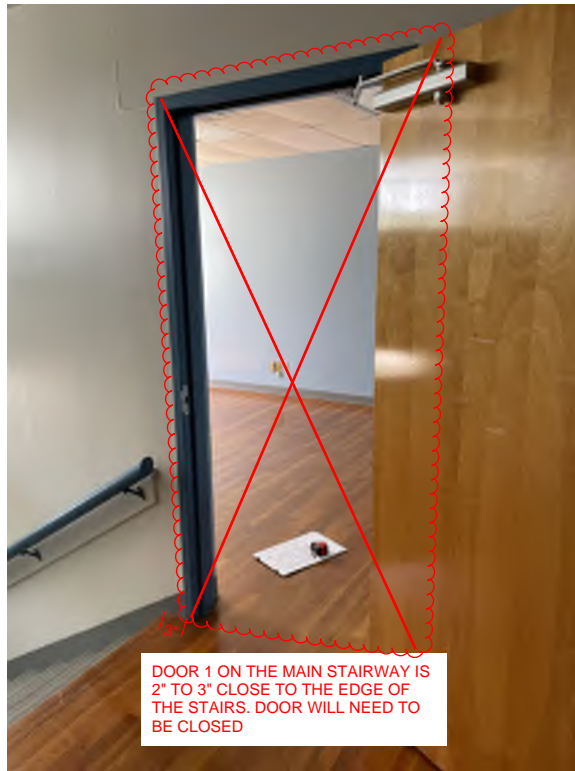


Figure 19: Second Floor Main Level main entry stairway

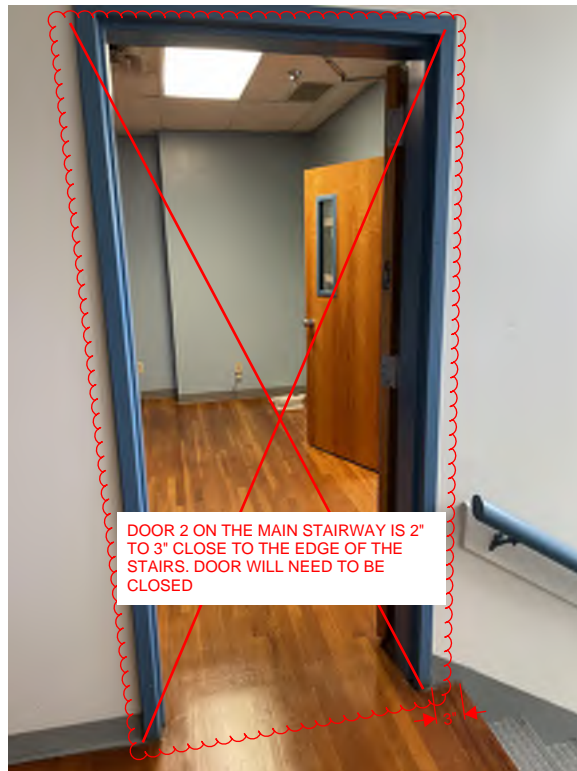


Figure 20: Second Floor Main Level main entry stairway



Figure 21: Second Floor Main Level Lobby

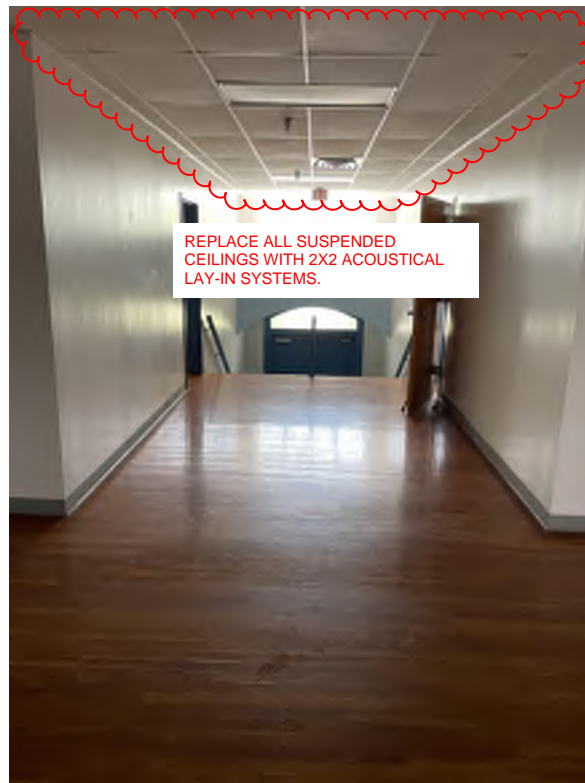


Figure 22: Second Floor Main Level main entry stairway



Figure 23: Second Floor Main Level

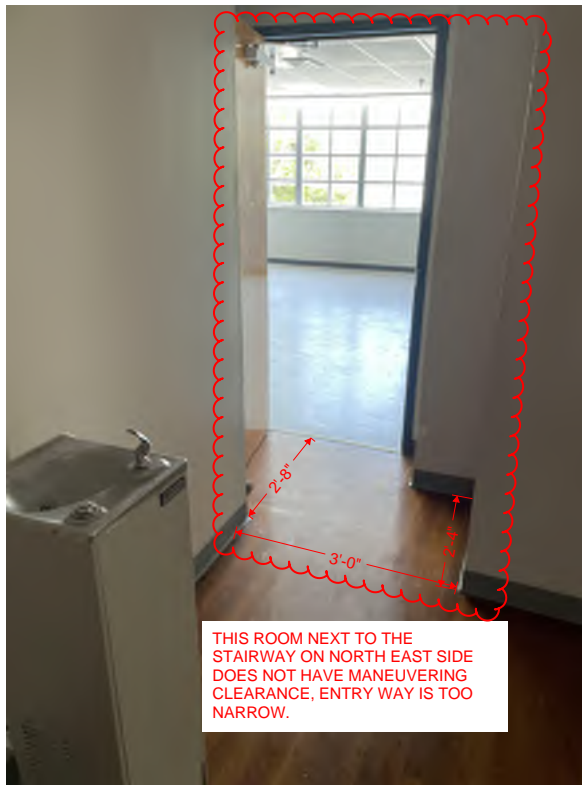


Figure 24: Second Floor Main Level stairway



Figure 25: Third Floor Level Corridor

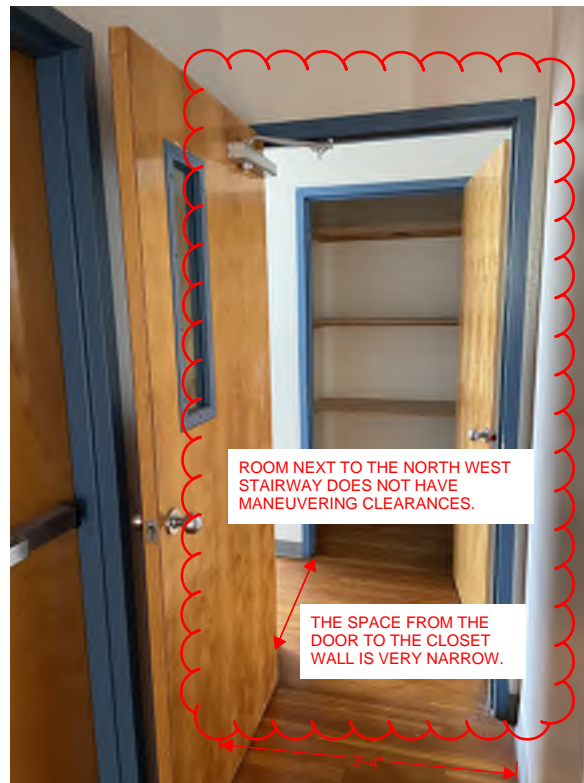


Figure 26: Third Floor Level stairway

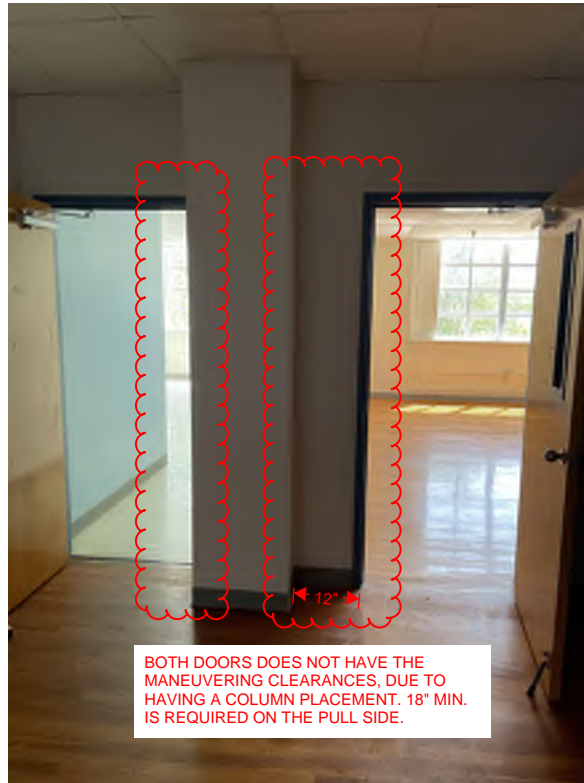


Figure 27: Third Floor Level



Figure 28: Third Floor Level stairway



EXTRA SPACE IN THIS PART OF THE AREA, APPROXIMATELY 3'-0" OR 4'-0"

Figure 27: Third Floor Level Men's Restroom



EXTRA SPACE IN THIS PART OF THE AREA, APPROXIMATELY 3'-0" OR 4'-0"

Figure 28: Third Floor Level Women's Restroom



Figure 29: Third Floor Level Janitor's room



MARY ERSKINE BUILDING ASSESSMENT

SPACE NEEDS PROGRAM



DEBRA J. DOCKERY, ARCHITECT, P.C.

118 Broadway, Suite 516

San Antonio, Texas 78205

tel: (210) 225-6130

GUADALUPE APPRAISAL DISTRICT

SPACE NEEDS PROGRAM FOR POSSIBLE RELOCATION TO 216 E. COLLEGE

Updated 4.29.2025

Department/ Spaces	No.	SPACES		ASF	COMMENTS
		Min Size of Space ASF			
SECOND FLOOR MAIN LEVEL					
Reception space / lobby - 30 x 24	1	720		720	double size of exist. Add kiosks
Public service counter - 5 x 30	1	150		150	5 windows of which 2 ADA
Public service staff work stations, 7x30	5	210		1050	part of service counter
Public work room	1	600		600	computer terminals for 10, maps, kiosks, 1 work station
Public restrooms men, women	2	200		400	
Public family restroom	1	65		65	
Pubic lactation room	1	65		65	
Large conference room for up to 50	1	700		700	locate on Main Level, will also be Board Room
Breakroom / kichenette, seating 15 - 20	1	500		500	Maybe 1 breakrm on ea level
Work Room, mail room, supplies	1	250		250	
ADMINISTRATION					
Director of Administration	1	180		180	
Administration work stations	7	65		455	
Mapping work stations with printer	2	100		200	
IT work station	1	100		100	
Mechanical	1	250		250	
Electrical	1	60		60	
MDF and IDF data rooms	1	100		100	
Janitor	1	80		80	
NET TO GROSS MAIN LEVEL				5,925	
Walls, Hallways, Stairs, Structure				2,985	
TOTAL GSF MAIN LEVEL				8,910	
LOWER LEVEL ARB CENTER					
ARB check-in	1	200		200	
ARB lobby / waiting area	1	400		400	
ARB hearing rooms	2	660		1320	room for 20 to 30 persons
ARB level office for tax liasion	1	190		190	
ARB breakroom	1	400		400	
ARB file storage	1	300		300	

ARB level men and women restrooms	2	250	500	
ARB level family restroom	1	65	65	
ARB level lactation room	1	65	65	
Training Room	1	660	660	
Fitness Center	1	770	770	
Mechanical	1	400	400	
Electrical	1	100	100	
MDF and IDF data rooms	1	300	300	
Janitor	1	80	80	
Future office for facilities manager	1	190	190	
General building storage	1	300	300	
NET TO GROSS LOWER LEVEL			6,240	
Walls, Hallways, Stairs, Structure, etc. 45%			2,820	
TOTAL GSF LOWER LEVEL			9,060	
UPPER LEVEL OFFICES AND WORK STATIONS				
APPRAISERS				
Chief Appraiser Office	1	210	210	
Deputy Chief Appraiser Office	1	180	180	
Appraiser work stations - residential	9	65	585	
Appraiser work stations - complex	5	65	325	
Appraiser work stations - commercial	4	65	260	
Appraiser Work Stations - agriculture	2	65	130	
Appraiser work station - land	1	65	65	
HUMAN RESOURCES				
Offices	3	160	480	
Lobby	1	120	120	
Medium conference room for 15 to 20	1	660	660	
Small conference room for 5 to 10	1	300	300	
Collaboration break out rooms for 2 to 4	3	80	240	
Breakroom / kitchenette, 15 - 20	1	600	600	
Staff men and women restrooms	2	200	400	
Staff family restroom	1	200	200	
Staff lactation room	1	65	65	
Staff shower rooms	2	80	160	
Mechanical	1	250	250	
Electrical	1	60	60	
MDF and IDF data rooms	1	100	100	
Janitor	1	80	80	
NET TO GROSS UPPER LEVEL			5,470	
Walls, Hallways, Stairs, Structure, etc. 45%			3,440	
TOTAL GSF UPPER LEVEL			8,910	
TOTAL FOR BUILDING			26,880	



MARY ERSKINE BUILDING ASSESSMENT
BUILDING CODE AND
ZONING CODE ANALYSIS

Building Code and Zoning Code Analysis

Authority with Jurisdiction: City of Seguin, Texas
 Current adopted codes: International Building Codes 2018, International Fire Code 2018,
 (Per City of Seguin website) International Energy Conservation Code 2018
Note: The City of Seguin Building Department was contacted to determine if updating to more current editions of the codes were being considered. The Department has not responded.

Occupancy Type
 Current Group E Educational
 Proposed Conversion Group B Civic Administration

Occupancy Separation Under occupancy Group E there were no requirements for occupancy separation. Any assembly spaces in the conversion to Group B with more than 50 occupants or more than 750 square feet will be classified as Group A-3, per 303.1.2

Construction Type Type II-B Non-combustible

Fire Sprinkler Currently Yes

Analysis based on Group B Occupancy

Area	Actual	Allowable (with fire sprinkler)
Main Building Area	26,880 SF	
Total Area all buildings	39,273 SF	90,000 SF
Stories	Actual - 3	Allowed- 3
Height	Actual 18 FT	Allowed - 55 FT

Fire Resistance

Fire Resistance Ratings for Building Elements - 0 hours
 Fire Resistance Ratings, Exterior, greater 30 FT Fire Separation - 0 hours

The Main Building is fire sprinklered, therefore, 1 hour fire rated exit corridors are not required. (Corridors in non-fire sprinklered Occupancy Group B buildings are required to have 1 hour fire rated construction with 1/3 hour rated doors when the occupant load is more than 30.)

Occupant Load Based on Assumed Interior Reorganization of Spaces

Spaces	Area	Occupant Factor	Occupant Load
First Floor			
Meeting/Conference Rooms	2,100 SF	15 net	140
Waiting Areas	600 SF	15 net	40
Breakroom	600 SF	15 net	40
Health and Fitness Room	760 SF	50 gross	15
Offices	380 SF	150 gross	3

Storage /Mech	500 SF	300 gross	<u>2</u>
First Floor Total Occupancy			240

Spaces	Area	Occupant Factor	Occupant Load
Second Floor			
Meeting/Conference Rooms	670 SF	15 net	45
Waiting Areas	300 SF	15 net	20
Breakroom	600 SF	15 net	40
Offices	3,880 SF	150 gross	26
Storage /Mech	300 SF	300 gross	<u>1</u>
Second Floor Total Occupancy			132

Spaces	Area	Occupant Factor	Occupant Load
Third Floor			
Meeting/Conference Rooms	670 SF	15 net	45
Breakroom	600 SF	15 net	40
Offices	3,800 SF	150 gross	26
Storage /Mech	300 SF	300 gross	<u>1</u>
Third Floor Total Occupancy			112

Total Building Occupants 484

Exit Requirements

Egress sizing – stairways

First Floor: 240 occupants / 2 stairs * 0.30 inches = 36 inches minimum, Actual = 62"

Second Floor: 132 occupants + ½ first floor and third floor / 2 stairs * 0.30 inches = 154 * 0.3 = 46".
Actual 62"

Third Floor: 112 occupants / 2 stairs * 0.30 inches = 17 inches minimum, Actual = 62"

Egress sizing – exit ways:

First Floor 240 occupants * 0.2 inches – 48 inches total exit width. Actual 124"

Corridor minimum width: 44". Actual – 44 " hallway to elevator

Plumbing fixture requirements - 2018 IBC

Business

Water Closets: 1 per 25 for first 50, then 1 for each 50 thereafter

Lavatories: 1 per 40 for first 80, then 1 for each 80 thereafter

Assume 242 women and 242 men

Fixtures required:

Women- 6 water closets, 5 lavatories

Men – 6 water closets / urinals, 5 lavatories

(For comparison, Assembly spaces without permanent seating require 1 water closet per 125 men, 1 water closet per 65 women and 1 lavatory per 200 persons.)

City of Seguin Unified Development Code

Parking requirements – Main Building Only

Offices - 1 space per each 300 GSF $26,880 / 300 = 90$ parking spaces min

Actual existing – 32 adjacent to Main Building

Revise existing outdoor basketball court for parking - +/-30 parking spaces

90 required spaces – 62 existing / renovated = 28 spaces short of requirements

(Note: 18 parking spaces exist along the north property but these would serve the gymnasium and one-story classroom building. $12,393 \text{ sf} / 300 = 41$ parking stalls needed for these facilities)



MARY ERSKINE BUILDING ASSESSMENT
ARCHITECTURAL SYSTEMS
DESCRIPTION

Architectural Systems Descriptions

Division 1 - General Requirements

011000 Summary of Work

Project information, access to site, work restrictions, and miscellaneous provisions

012100 Allowances

Allowance fund for unforeseen conditions, utility connection charges, and other items not known at time of bidding. An amount has not been stipulated at this time.

012300 Alternates

Additive Bid Alternates separately priced on proposal form. No alternate items identified at this phase.

Division 2 - Existing Conditions

024110 Selective Demolition

Removal of existing installations for new work.

Division 3 - Concrete

033000 Cast-in-place Concrete

Repair of existing foundations for new plumbing work.

Division 4 - Masonry

042000 Unit Masonry

Repair of existing masonry for new work.

Division 5 - Metals

055000 Metal Fabrications

Miscellaneous steel supports and trims, lintel angles, fabricated steel items.

Division 6 - Woods & Plastics

061000 Rough Carpentry

Blocking and backing in walls for support of cabinetry, toilet accessories and miscellaneous specialties.

062023 Interior Finish Carpentry

Interior wood trims

064116 Plastic Laminate Faced Architectural Casework

Plastic laminate faced cabinetry and solid surface countertops in breakrooms.

064661 Simulated Stone Countertops

Homogenous solid plastic resin countertops, ½" thick material on plywood sub-top, with ½" thick backsplashes of same material for cabinetry countertops and restroom lavatory counters.

Division 7 - Thermal & Moisture Protection

072100 Thermal Insulation

Glass fiber sound attenuation insulation at new interior walls and ceilings.

076200 Sheet Metal Flashing

Roof and wall flashings and other sheet metal trims requiring repair.

079000 Joint Sealants

Elastomeric sealants and fillers for interior joints.

Division 8 - Doors & Windows

081113 Metal Doors and Frames

Hollow metal interior door frames for use with wood interior doors

081416 Flush Wood Doors

Solid wood doors for all interior doors. For use in hollow metal door frames

083350 Access Doors

Wall and ceiling access doors for plumbing chases and mechanical equipment

085000 Aluminum Windows

Replace existing aluminum windows with new commercial grade fixed aluminum windows with same mullion profile.

085653 Transaction windows

Impact and bullet resistant glass with transaction tray, speak hole and microphone for public service window.

087100 Door Hardware

Lock system, exit devices, closers, stops, holders, thresholds, weatherstripping, and miscellaneous finish hardware items. Card readers at entry doors. Electronic locks for telecom rooms.

088800 Glazing

New double pane insulated glass for replacement exterior windows.

Division 9 - Finishes

092216 Non-Structural Metal Framing

Metal stud interior wall framing, 3-5/8" and 6", 12 to 20-gauge studs depending on wall height, bridging, and bracing requirements.

092900 Gypsum Drywall Systems

Gypsum board for interior partitions and restroom ceiling systems, sheathing for exterior walls.

093000 Tile

Unglazed porcelain ceramic floor tile for restroom facilities. Full height glazed ceramic wall tile for restrooms.

095113 Acoustical Panel Ceilings

Suspended acoustical ceiling systems consisting of 2' X 2' U.L. labeled, mineral composition board tiles in pre-finished steel grid, mylar or vinyl faced for breakroom. All renovated areas to receive new ceiling system.

096500 Resilient Flooring & Accessories

LVT (luxury vinyl tile) with rubber base for all spaces that do not have existing wood flooring.

099100 Painting

Painting and finishing requirements for non-factory-finished interior surfaces, for new surfaces and renovated existing services. Refinish existing wood floors.

Division 10 - Specialties

101419 Dimensional Letter Signage

Cast aluminum numbers and letters for exterior application, name, and address of facility.

101423 Panel Signage

Acrylic panel room identification and accessibility signs

101426 Directional Signage

Post mounted panels or wall mounted panels with directional and information signage.

102800 Toilet, Bath, and Laundry Accessories

Electric hand dryers, soap, towel, and tissue dispensers, grab bars, and waste receptacles matching Owner's product requirements.

104413 Fire Protection Specialties

Fire extinguishers in semi-recessed cabinets in corridors and where required by fire codes, "Knox" box at exterior doors.

Division 11 - Equipment

114520 Kitchen Equipment

Refrigerators and microwave ovens in breakroom by Owner.

Division 12 - Furnishings

122113 Horizontal Louver Blinds

Aluminum mini-blinds or roller shades for all windows

See MEP Assessment for mechanical, electrical and plumbing systems assessment and recommendations.



MARY ERSKINE BUILDING ASSESSMENT

MECHANICAL, ELECTRICAL &
PLUMBING ASSESSMENT

MARY ERSKINE BUILDING MEP ASSESSMENT REPORT

FOR

DEBRA J. DOCKERY, ARCHITECT, P.C.

Report

April 2025

CLCE Project # 25-022



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Executive Summary

The Mary Erskine building in Seguin, Texas is a three-story 22,000 square foot facility that previously functioned as a primary school. The facility was constructed in 1914, and has seen some mechanical, electrical and plumbing updates over the years. The HVAC for the first floor is served by five split systems, and the second and third floors are served by four packaged rooftop units. There is plumbing to support restrooms on the first and third floors, as well as limited fixtures in the rest of the building such as a teacher break room, nurse's office, and art room. The building appears to be fully sprinkled, with a fire department connection on the north side of the building.

Many of the HVAC equipment has missing or damaged components and are not compatible with the most current refrigerants. Most of the ductwork, above-ceiling equipment, and fans were not able to be safely accessed for observation. Air devices such as supply diffusers and exhaust grilles were in varying condition, with many appearing damaged. Plumbing within the walls was not able to be observed, however pipes that were visible appeared in good shape. Heating and cooling load calculations were performed to ensure the installed HVAC systems are sufficiently sized for the application. The results are provided in Appendix A of this report.

The first floor's HVAC system is and comprised of five DX split systems utilizing outdoor air conditioners and vertical indoor air handlers with gas heat. Each air handler was marked as serving multiple rooms, and each classroom had a thermostat in it, suggesting there was a zone damper that allowed the classrooms to adjust cooling and heating per room. A controls cabinet for the five split systems was found in the basement mechanical room. The second and third floors are both served by two packaged DX rooftop units, for a total of 4 rooftop units. There did not appear to be any centralized control system for the packaged units, so it is assumed that each individual classroom zone is operating independently and the packaged unit is only controlling on duct pressure and discharge temperature.

The plumbing fixtures on the first and third floor vary in size and condition. While lavatories are serviceable, the water closets and urinals are recommended to be replaced to full adult sizes and to be ADA compliant. There are electric hot water heaters at each floor that appear to be missing parts or wiring.

Based on observations of the site, it is recommended that the entire mechanical system be replaced with new equipment, ductwork, insulation, controls, and air devices. It is also recommended to replace all plumbing fixtures to full-sized ADA compliant fixtures and to add men's and women's gang restrooms to the second floor.

Electrically, the building is served by a 208Y/120V 500kVA utility transformer, which is likely to be sufficient for the renovation. The electrical distribution equipment appears to be dated from 1990 to 2000. The main switchboard was unable to be opened during the site visit. Based on the age of the equipment, it is recommended to replace the electrical distribution equipment and feeders. The new layout of the building and HVAC renovations will also likely require a reconfiguration of the distribution system. Additionally, this will allow for a more efficient electrical design that requires fewer pieces of equipment that can be consolidated to one area, instead of placed throughout the facility.

Lighting appeared to be fluorescent. It is recommended to replace all fixtures with LED lighting to improve the lighting quality and power efficiency of the building. The lighting controls will also need to be brought up to current energy code during in rework of the existing lighting system.

Limitations

This report is based upon observations of the visible and apparent conditions of the HVAC systems during a limited visit and limited drawings furnished to our office. While care has been taken in the reporting of the observations, the observations contained in this report are of a limited nature. Thus, no warranty or guarantee is expressed or implied in this report with respect to the installation or performance of the equipment. No sampling or testing was performed. Equipment on roofs, scaffolding, above the ceiling or anywhere else that was not safe to access were not inspected.

The recommendations expressed are based on the opinions of CL Consulting Engineers, LLC. and are not intended as a critique of the original engineering design. Factors affecting original design decisions, including budget limitations, construction constraints, and owner design input, are not reviewed.

Condition Terms Used

Throughout the report, the terms *good*, *fair*, and *poor* are used to describe equipment. Where these terms are used, they are intended to be understood as follows - equipment in *good* condition is not expected to require replacement in the next ten years, equipment in *fair* condition should be anticipated to require replacement within the next five years, and equipment in *poor* condition shows signs of malfunction or disrepair and should be replaced as soon as possible.

Observations

Classrooms

Mechanical

The air devices in the classroom were of varying conditions and layouts, with many being dented or otherwise weathered. Each classroom had a wall-mounted thermostat. Due to the equipment being disassembled it was not possible to verify if the existing ductwork and air balance was sufficient for each room.

Electrical

The devices appear dated. Some devices appear to have been added at a later date, and have surface mounted raceway providing power to the receptacles. There is an isolated grounding system in place for some of the receptacles. This can be left intact, but is not required. Optionally, the devices and face plates can be replaced and the raceways moved to inside the walls to freshen up the space.

Restrooms

Mechanical

The air devices in the restrooms were of varying conditions and layouts, with many being dented or otherwise weathered. Due to the equipment being disassembled it was not possible to verify if the existing supply or exhaust airflows were sufficient.

Plumbing

The piping behind the walls or underneath the floor were not able to be observed . It is not known the condition of the domestic water pipe or the sanitary sewer pipe in those locations. The piping that was exposed to feed the fixtures looked to be in good condition. Some lavatories had only cold water service and some had cold and hot water. The lavatory and faucets looked outdated and not ADA compliant.

The water closets and urinals were in poor to fair condition. However, many were not sized for adults. The fixtures also were not ADA compliant.

Electrical

The devices appear dated. Optionally, the devices and face plates can be replaced to freshen up the space.

Corridors/Stairwells

Mechanical

The air devices in the corridors were of varying conditions and layouts, with many being dented or otherwise weathered. It was not clear how these spaces were zoned or what equipment it shared with other spaces.

Plumbing

Drinking fountains were observed on each floor. These were in poor condition and were not ADA compliant. No split level fountains or bottle fillers were found.

Electrical

The devices appear dated. Optionally, the devices and face plates can be replaced to freshen up the space.

Air Conditioning Systems

DX Split Systems

The five DX split systems serving the first floor are comprised of residential-grade indoor air handling units in vertical configuration with natural gas heat paired with an outdoor air conditioner. The nameplates of the air handlers were not accessible to read, however based on the outdoor air conditioner the units appear to be manufactured in 1991. The units are charged with refrigerant R-22, which is no longer permitted to sold in new equipment and is increasingly hard to service.

Indoor Air Handling Units

The five indoor air handling units serving the first floor spaces are all located in a mechanical room and mounted on a wooden platform that also serves as a plenum for return air and outside air to mix before the inlet of the air handling units. An outside air duct is routed from outdoor louvers and discharges into the return air mixing box. Supply air ducts rise vertically out of the top connection of the air handlers up to above ceiling and become unobservable for a short distance. Insulation could not be verified on this section of ductwork.

Gas piping is routed from to each individual air handler for heating purposes. An open duct is routed to the mechanical room for common combustion air, and flue gas is vented out of the air handlers through PVC pipe. It is not clear the routing of the vent pipe or its termination location.

Outdoor Air conditioners

The outdoor air conditioners are mounted to concrete pads just outside of the building in between the main building and gym. The units were observed to be in poor condition and had components missing. The nameplates showed all were the same 5-ton model and manufactured in 1991.

Packaged Rooftop Units

A total of four packaged Rooftop Units (RTUs) were installed on the roof of portions of the first floor, with two on the northeast corner and two on the northwest corner. Each RTU has gas piping routed to it for reheat. Supply and return duct come out horizontally from the unit, and run up along the side of the building into penetrations on the second and third floor. The duct does not appear to be insulated or protected from the elements. While not being able to be observed directly, it was noticed from observations that pieces were missing from the RTUs. The exterior cabinets looked weathered as well.

Calculations

Heating and cooling load calculations were performed to estimate the size of equipment needed to condition the building. The calculations account for the construction of the building including insulation, windows, building dimensions, internal loads of office equipment, lighting, and human occupancy, minimum ventilation load, and external heat gain/loss.

The indoor environmental design criteria is as follows:

- a) Cooling Set Point: 75°F
- b) Heating Set Point: 70°F
- c) Humidity Set Point: 50% RH +/-5%

The outdoor environmental design criteria is as follows:

- a) Summer: 100°F DB/78°F WB.
- b) Winter: 28°F

Results of the calculations show that the required cooling for the building would be 103 tons. It should be noted that the calculations were made treating each floor as a “block” rather than trying to create specific zones within each floor.

Floor	Calculated Cooling Req's (Tons)	Calculated Heating Req's (MBH)	Calculated Supply Airflow (CFM)
Floor 1	39	200.3	13,242
Floor 2	26.8	148.1	10,406
Floor 3	37.5	213.0	12,862

Recommendations

Mechanical

Based on observations of the site, it is recommended that the entire mechanical systems serving the building be replaced. The following options would be feasible:

Option 1: Replace in kind

This option would involve removing the existing mechanical equipment and replacing with new, similarly functioning equipment. The existing split systems would be replaced with new variable capacity heat pumps. The indoor vertical air handlers would be replaced with higher efficiency fan models.

Outdoor packaged rooftop units would be replaced with new units with variable capacity compressors. The units would have higher efficiency and variable flow fans. New variable air volume terminal units with electric reheat would be installed to accommodate new zoning and occupancies.

Ductwork would be inspected and replaced as needed, and air devices would be replaced. A centralized control system using wireless controllers would be installed to control all mechanical equipment.

Option 2: New centralized chilled water system

This option would take advantage of using the center yard in between the buildings as a mechanical yard. A central air cooled chiller would be placed at ground level between the building and the gym, and feed chilled 44° F water to the building from the north. The split systems serving the first floor would have their outdoor units and indoor units removed. The indoor units would be replaced with a chilled water cooled air handler to condition the air, and feed new single duct VAV air terminals with electric reheat. Each zone would have a VAV air terminal and be able to vary its cooling and airflow or switch to heating as needed.

Similarly, on the second and third floors the existing RTUs and VAVs would be removed. Each floor would have its own chilled water air handler and feed new single duct VAV air terminals with electric heat. Each zone would have a VAV air terminal and be able to vary its cooling and airflow or switch to heating as needed. Ideally the air handlers would be indoors for aesthetics of a historical building and maintainability. However, the air handlers can also be placed on the existing equipment supports outside.

Ductwork would be inspected and replaced as needed, and air devices would be replaced. A centralized control system using wireless controllers would be installed to control all mechanical equipment.

Plumbing

It is recommended that the plumbing sanitary and domestic water lines be scoped by a plumber to check for pipe integrity for potential reuse. Any new piping will be copper for the domestic water and PVC for sanitary and vent. All existing fixtures are recommended to be removed and replaced with new fixtures, along with ADA-compliant options. Each floor is recommended to have its own new 10 gallon electric water heater.

Electrical

Based on observations of the site, it is recommended that the electrical distribution equipment and feeders be replaced. It is also recommended the at the lighting fixtures and controls be replaced. Additionally, the fire alarm system appears to be dated. Some work will be required to cover the new building layout. It is recommended to replace the fire alarm system to ensure full functionality. Electrical devices appear dated. They can remain, but device/wall plate replacement and raceway relocation is recommended to improve the aesthetics of the new spaces.

Conclusion

The existing building mechanical equipment, ductwork, and plumbing fixtures should all be replaced immediately. The current equipment is old enough or missing enough components to warrant not repairing, and should be replaced with energy-efficient systems. Plumbing fixtures should be updated for the new occupancy and be ADA compliant. A new HVAC controls system should be installed to optimize energy usage and occupancy comfort.

Appendix A: Heating and Cooling Load Calculations

System Checksums

By .

Variable Volume Reheat (30% Min Flow Default)

RTU-1

COOLING COIL PEAK				CLG SPACE PEAK				HEATING COIL PEAK				TEMPERATURES			
Peaked at Time: Mo/Hr: 8 / 15				Mo/Hr: 8 / 17				Mo/Hr: Heating Design							
Outside Air: OADB/WB/HR: 99 / 80 / 127				OADB: 97				OADB: 28							
Envelope Loads	Space Sens. + Lat.	Plenum Sens. + Lat.	Net Total	Space Sensible	Percent Of Total	Space Sensible	Percent Of Total	Space Peak	Coil Peak	Percent Of Total	SADB	Cooling	Heating		
Blu/h	Blu/h	Blu/h	Blu/h	Blu/h	(%)	Blu/h	(%)	Blu/h	Blu/h	(%)					
Skylite Solar	0	0	0	0	0	0	0	0	0	0.00	55.0	55.0	90.0	64.9	53.8
Skylite Cond	0	0	0	0	0	0	0	0	0	0.00	74.3	74.3	77.3	53.8	0.0
Roof Cond	0	14,452	14,452	3	3	0	0	0	-6,817	3.13	0	0	0	0	0
Glass Solar	59,395	0	59,395	13	13	67,960	23	67,960	0	0.00	0	0	0	0	0
Glass/Door Cond	27,082	0	27,082	6	6	26,306	9	-38,661	-38,661	17.75	0	0	0	0	0
Wall Cond	45,236	22,331	67,567	14	14	51,909	17	-48,369	-71,195	32.68	0	0	0	0	0
Partition/Door	0	0	0	0	0	0	0	0	0	0.00	0	0	0	0	0
Floor	0	0	0	0	0	0	0	-13,313	-13,313	6.11	0	0	0	0	0
Adjacent Floor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0	0	0	0	0
Infiltration	0	0	0	0	0	0	0	0	0	0.00	0	0	0	0	0
Sub Total ==>	131,713	36,783	168,496	36	36	146,176	48	-100,343	-129,986	59.67	1,895	1,895	1,895	1,895	1,895
Internal Loads															
Lights	30,062	0	30,062	6	6	30,062	10	0	0	0.00	0	0	0	0	0
People	108,000	0	108,000	23	23	60,000	20	0	0	0.00	0	0	0	0	0
Misc	18,118	0	18,118	4	4	15,387	5	0	0	0.00	0	0	0	0	0
Sub Total ==>	156,179	0	156,179	33	33	105,449	35	0	0	0.00	0	0	0	0	0
Ceiling Load															
Ventilation Load	6,349	-6,349	0	0	0	6,899	2	-11,535	-11,535	0.00	0	0	0	0	0
Adj Air Trans Heat	0	136,993	136,993	29	29	0	0	0	-84,036	38.58	0	0	0	0	0
Dehumid. Ov Sizing	0	0	0	0	0	0	0	-5	3,816	-1.75	0	0	0	0	0
Ov/Undr Sizing	0	-2,100	-2,100	0	0	43,367	14	-5	-7,632	3.50	0	0	0	0	0
Exhaust Heat	0	0	0	0	0	0	0	0	0	0.00	0	0	0	0	0
Sup. Fan Heat	0	0	0	0	0	0	0	0	0	0.00	0	0	0	0	0
Ret. Fan Heat	0	0	0	0	0	0	0	0	0	0.00	0	0	0	0	0
Duct Heat PkUp	0	0	0	0	0	0	0	0	0	0.00	0	0	0	0	0
Underfir Sup Ht PkUp	0	0	0	0	0	0	0	0	0	0.00	0	0	0	0	0
Supply Air Leakage	0	0	0	0	0	0	0	0	0	0.00	0	0	0	0	0
Grand Total ==>	294,241	165,327	467,415	100.00	100.00	301,890	100.00	-111,884	-217,844	100.00					

COOLING COIL SELECTION				HEATING COIL SELECTION			
Total Capacity	Sens Cap.	Coil Airflow	Enter DB/WB/HR	Capacity	Coil Airflow	Ent	Lvg
ton	MBh	cfm	"F gr/lb	MBh	cfm	"F	"F
Main Cig	39.0	467.4	335.2	-189.4	4,925	54.5	90.0
Aux Cig	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Opt Vent	0.0	0.0	0.0	-10.9	16,417	53.8	54.5
Total	39.0	467.4		-77.5	4,925	54.5	69.0

AREAS			
Gross Total	Glass	ft²	(%)
Floor	8,808		
Part	0		
Int Door	1		
EXFlr	445		
Roof	866		
Wall	6,391	981	15
Ext Door	126	0	0
Total	126	0	0

ENGINEERING CKS			
% OA	Cooling	Heating	
cfm/ft²	cfm/ft²	cfm/ft²	
11.5	1.86	38.5	
421.47	226.13	0.56	
53.07	53.07	-22.74	
No. People	240		

System Checksums

By .

Variable Volume Reheat (30% Min Flow Default)

RTU-2

COOLING COIL PEAK				CLG SPACE PEAK				HEATING COIL PEAK				TEMPERATURES				
Peaked at Time: Outside Air:				Mo/Hr: 8 / 15 OADB/WB/HR: 99 / 80 / 127				Mo/Hr: Heating Design OADB: 28								
Envelope Loads	Space Sens. + Lat.	Plenum Sens. + Lat.	Net Total	Space Sensible	Percent Of Total	Space Peak	Percent Of Total	Envelope Loads	Space Sensible	Percent Of Total	Space Peak	Percent Of Total	SADB	Cooling	Heating	
Btu/h	Btu/h	Btu/h	Btu/h	Btu/h	(%)	Btu/h	(%)	Btu/h	Btu/h	(%)	Btu/h	(%)				
Skyllite Solar	0	0	0	0	0	0	0	Skyllite Solar	0	0	0	0	54.8	54.8	90.0	
Skyllite Cond	0	0	0	0	0	0	0	Skyllite Cond	0	0	0	0	73.6	73.6	65.4	
Roof Cond	0	0	0	0	0	0	0	Roof Cond	0	0	0	0	76.0	76.0	55.8	
Glass Solar	55,739	0	55,739	17	17	60,701	26	Glass Solar	0	0	0	0	76.0	76.0	55.8	
Glass/Door Cond	25,096	0	25,096	8	8	24,377	10	Glass/Door Cond	-35,788	23.41	-35,788	23.41	0.1	0.1	0.0	
Wall Cond	39,274	0	39,274	13	13	45,160	19	Wall Cond	-42,431	41.03	-42,431	41.03	0.1	0.1	0.0	
Partition/Door	0	0	0	0	0	0	0	Partition/Door	0	0	0	0	0.1	0.1	0.0	
Floor	0	0	0	0	0	0	0	Floor	0	0	0	0	0.4	0.4	0.0	
Adjacent Floor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	Adjacent Floor	0.00	0.00	0.00	0.00	0.0	0.0	0.0	
Infiltration	0	0	0	0	0	0	0	Infiltration	0	0	0	0	0.0	0.0	0.0	
Sub Total ==>	120,108	19,746	139,854	43	43	130,238	55	Sub Total ==>	-78,218	64.44	-98,510	64.44	1,098	1,098	1,098	
Internal Loads								Internal Loads								
Lights	26,413	0	26,413	8	8	26,413	11	Lights	0	0	0	0	3.831	3.831	3.831	
People	50,400	0	50,400	16	16	28,000	12	People	0	0	0	0	12,919	12,919	3,980	
Misc	17,771	0	17,771	6	6	15,041	6	Misc	0	0	0	0	149	149	149	
Sub Total ==>	94,585	0	94,585	29	29	69,454	29	Sub Total ==>	0	0	0	0	875	875	875	
Cooling Load	3,794	-3,794	0	0	0	4,171	2	Cooling Load	-8,807	0	0	0	0	0	0	
Ventilation Load	0	81,718	81,718	25	25	0	0	Ventilation Load	0	0	-48,687	31.85	0	0	0	
Adj Air Trans Heat	0	0	0	0	0	0	0	Adj Air Trans Heat	0	0	0	0	0	0	0	
Dehumid. Ov Sizing	0	0	0	0	0	0	0	Ov/Undr Sizing	-4	-4	580	-0.38	0	0	0	
Exhaust Heat	0	-250	-250	0	0	33,427	14	Exhaust Heat	0	0	0	0	0	0	0	
Sup. Fan Heat	0	6,166	6,166	2	2	0	0	OA Preheat Diff.	0	0	0	0	0	0	0	
Ret. Fan Heat	0	0	0	0	0	0	0	RA Preheat Diff.	0	0	0	0	0	0	0	
Duct Heat PkUp	0	0	0	0	0	0	0	Additional Reheat	-6,243	4.08	-6,243	4.08	0	0	0	
Underfir Sup Ht PkUp	0	0	0	0	0	0	0	Underfir Sup Ht PkUp	0	0	0	0	0	0	0	
Supply Air Leakage	0	0	0	0	0	0	0	Supply Air Leakage	0	0	0	0	0	0	0	
Grand Total ==>	218,487	97,420	322,073	100.00	100.00	237,290	100.00	Grand Total ==>	-87,030	-152,864	100.00	100.00				

COOLING COIL SELECTION				HEATING COIL SELECTION			
Total Capacity	Sens Cap.	Coil Airflow	Enter DB/WB/HR	Leave DB/WB/HR	Gross Total	Glass	Lyg
ton	MBh	cfm	°F	°F	MBh	ft²	°F
Main Clg	26.8	322.1	247.4	10,406	7,739	0	0
Aux Clg	0.0	0.0	0.0	0.0	0	0	0
Opt Vent	0.0	0.0	0.0	0.0	1	0	0
Total	26.8	322.1	247.4	10,406	5,668	924	16

ENGINEERING CKS			
% OA	Cooling	Heating	
	8.6	28.7	
cfm/ft²	1.65	0.50	
cfm/ton	475.79		
ft³/ton	288.34		
Btu/hr-ft²	41.62	-19.13	
No. People	112		

AIRFLOWS			
	Cooling	Heating	
	12,770	3,831	
Diffuser	12,770	3,831	
Terminal	12,770	3,831	
Main Fan	12,770	3,831	
Sec Fan	0	0	
Nom Vent	1,098	1,098	
AHU Vent	1,098	1,098	
Infil	0	0	
MinStop/Rh	3,831	3,831	
Return	12,919	3,980	
Exhaust	149	149	
Rm Exh	875	875	
Auxiliary	0	0	
Leakage Dwn	0	0	
Leakage Ups	0	0	

System Checksums

By .

Variable Volume Reheat (30% Min Flow Default)											
COOLING COIL PEAK				CLG SPACE PEAK				HEATING COIL PEAK			
Peaked at Time: Outside Air: Mo/Hr: 8 / 17 OADB: 97				Mo/Hr: 8 / 17 OADB: 97				Mo/Hr: Heating Design OADB: 28			
Space Sens. + Lat. Bluh	Plenum Sens. + Lat. Bluh	Net Total Bluh	Percent Of Total (%)	Space Sensible Bluh	Percent Of Total (%)	Space Peak Bluh	Percent Of Total (%)	Space Sens Bluh	Percent Of Total (%)	Coil Peak Bluh	Percent Of Total (%)
Envelope Loads											
Skyllite Solar	0	0	0	0	0	0	0	0	0	0	0
Skyllite Cond	0	0	0	0	0	0	0	0	0	0	0
Roof Cond	0	132,227	29	0	0	0	0	0	0	-51,142	23.45
Glass Solar	60,256	0	13	60,256	22	0	0	0	0	0	0
Glass/Door Cond	24,666	0	5	24,666	9	-36,135	16.57	-36,135	16.57	0	0
Wall Cond	44,604	17,992	14	44,604	16	-42,758	27.27	-42,758	27.27	0	0
Partition/Door	0	0	0	0	0	0	0	0	0	0	0
Floor	0	0	0	0	0	0	0	0	0	0	0
Adjacent Floor	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Infiltration	0	0	0	0	0	0	0	0	0	0	0
Sub Total ==>	129,527	150,219	62	129,527	47	-78,893	39.15	-78,893	39.15	-146,764	67.29
Internal Loads											
Lights	26,505	0	6	26,505	10	0	0	0	0	0	0
People	50,400	0	11	28,000	10	0	0	0	0	0	0
Misc	27,447	0	6	24,717	9	0	0	0	0	0	0
Sub Total ==>	104,353	0	23	79,222	29	0	0	0	0	0	0
Ceiling Load	23,627	-23,627	0	23,627	9	-25,001	-10.88	-25,001	-10.88	0	0
Ventilation Load	0	61,890	14	0	0	0	0	0	0	-48,206	-22.10
Adj Air Trans Heat	0	0	0	0	0	0	0	0	0	0	0
Dehumid. Ov Sizing	0	0	0	0	0	-48	-0.02	-48	-0.02	0	0
Ov/Undr Sizing	0	0	0	43,163	16	3,857	-1.77	3,857	-1.77	0	0
Exhaust Heat	0	-3,645	-1	0	0	0	0	0	0	0	0
Sup. Fan Heat	0	7,622	2	0	0	-26,959	-12.36	-26,959	-12.36	0	0
Ret. Fan Heat	0	0	0	0	0	0	0	0	0	0	0
Duct Heat Pkup	0	0	0	0	0	0	0	0	0	0	0
Underfir Sup Ht Pkup	0	0	0	0	0	0	0	0	0	0	0
Supply Air Leakage	0	0	0	0	0	0	0	0	0	0	0
Grand Total ==>	257,507	184,836	100.00	275,540	100.00	-103,942	-37.46	-103,942	-37.46	-218,120	100.00

TEMPERATURES				
SADB	Cooling	55.3	Heating	90.0
Ra Plenum		81.6		58.8
Return		82.8		52.4
Res/OA		82.8		52.4
Fn MirtD		0.1		0.0
Fn BidTD		0.1		0.0
Fn Frict		0.4		0.0

AIRFLOWS				
Diffuser	Cooling	15,252	Heating	4,575
Terminal		15,252		4,575
Main Fan		15,252		4,575
Sec Fan		0		0
Norm Vent		1,087		1,087
AHU Vent		1,087		1,087
Infil		0		0
MinStop/Rh		4,575		4,575
Return		15,603		4,926
Exhaust		351		351
Rm Exh		675		675
Auxiliary		0		0
Leakage Dwn		0		0
Leakage Ups		0		0

ENGINEERING CKS				
% OA	Cooling	7.1	Heating	23.8
cfm/ft²		1.96		0.59
cfm/ton		406.74		
ft³/ton		207.11		
Btu/hr-ft²		57.94		-27.42
No. People		112		

HEATING COIL SELECTION			
Capacity	MBh	Coil Airflow	Lvg
ton		cfm	°F
37.5	450.0	12,862	54.8
Aux Cig	0.0	0	0.0
Opt Vent	0.0	0	0.0
Total	37.5	12,862	54.8

COOLING COIL SELECTION			
Total Capacity	Sens Cap.	Coil Airflow	Enter DB/WBHR
ton	MBh	cfm	°F
37.5	450.0	12,862	64.4
Aux Cig	0.0	0	0.0
Opt Vent	0.0	0	0.0
Total	37.5	12,862	64.4

AREAS			
Gross Total	Glass		
ft²	ft²	(%)	
7,766	0	0	
Floor	0	0	
Part	0	0	
Int Door	1	0	
ExFir	0	0	
Roof	7,766	0	
Wall	5,710	942	16
Ext Door	0	0	0
Total	0	0	0

Appendix B: Photographs

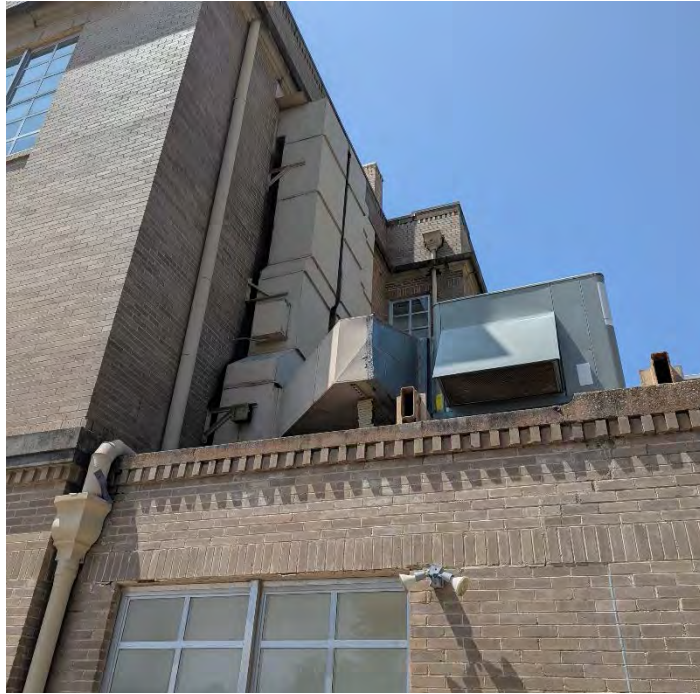


Figure 1. Packaged RTUs as seen from ground level

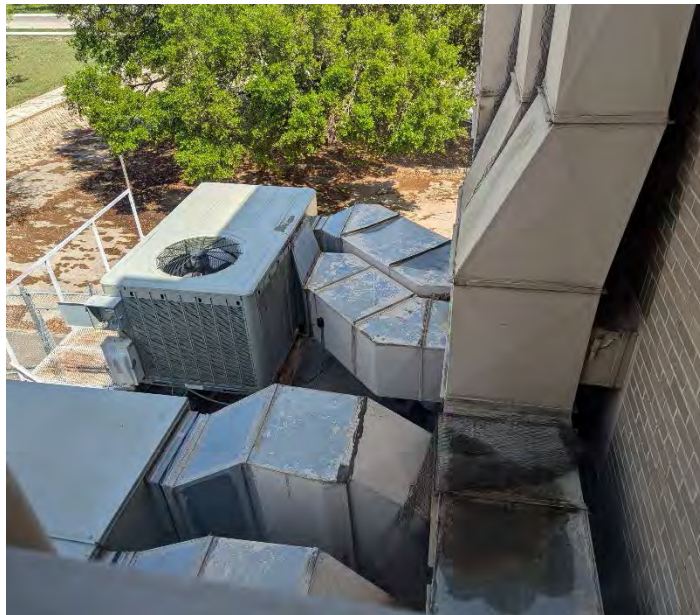


Figure 2. Packaged RTUs as seen from indoor space



Figure 3. Typical water closet



Figure 4. Typical restroom layout



Figure 5. Typical drinking fountain



Figure 6. First floor controls cabinet



Figure 7. First floor vertical air handlers



Figure 8. Various ducts tied to vertical air handlers



Figure 9. Second floor standalone control thermostat



Figure 10. First floor outdoor units in mechanical yard



Figure 16. Utility transformer



Figure 17. Panelboard nameplate showing a date of 1990



Figure 83. Typical wall showing orange isolated ground receptacles and surface mounted raceway

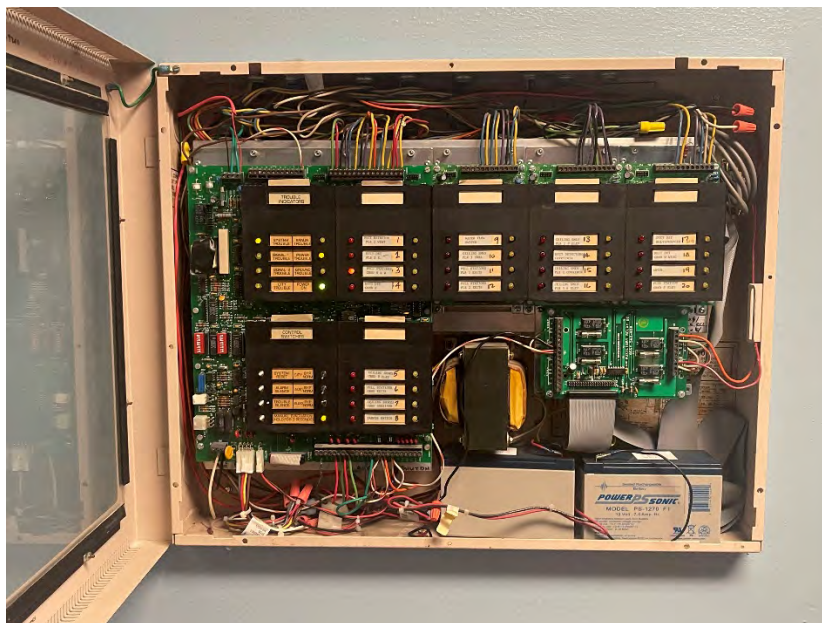


Figure 14. Existing fire alarm control panel



MARY ERSKINE BUILDING ASSESSMENT

**OPINION OF PROBABLE
PROJECT COSTS**

Opinion of Probable Construction Cost

See next page.

Phasing Opportunities

Options and alternative systems are listed in the Opinion of Probable Cost. Immediate concerns would be those systems and scopes that are required for the Guadalupe Appraisal District to occupy the building. These systems would include mechanical and electrical replacements, restroom upgrades, repairs to the elevator, new ceilings, new walls for offices and accommodations for public services.

Future work may include additional site work and parking, replacement of the windows, upgrades to finishes, and any work considered for the single story classrooms and gymnasium/cafeteria building.

	A	B	C	D	E	F	G	H	I
1	Project	Assessment of Mary Erskine Building for Conversion to Guadalupe Appraisal District Offices							
2	Client	Guadalupe County Appraisal District							
3	Description	Assessment Phase Opinion of Probable Construction Cost							
4	Date	5/5/2025							
5	Provided by	Debra J. Dockery, Architect, P.C.							
6	OPINION OF PROBABLE CONSTRUCTION COST								
7	ELEMENT	ITEM DESCRIPTION	UNITS	UNIT QUANTITY	UNIT COST MATERIALS & LABOR	BASE COST	GENERAL CONDITIONS - 18%	INFLATION TO BID DATE - 5%	ITEM TOTAL
8	SITE WORK								
9		ADA corrections to front entry curb ramp & landing	sf	330	\$12.00	\$3,960.00			
10		Repair spalled and cracked concrete sidewalks	sf	1850	\$8.00	\$14,800.00			
11		Rework front entry steps for upper landing clearance	sf	150	\$125.00	\$18,750.00			
12		Drainage improvements and sidewalk trench drains	lf	30	\$160.00	\$4,800.00			
13		Covert existing basketball court to parking	ls	1	\$25,000.00	\$25,000.00			
14		Add asphalt paved parking	sy	2445	\$60.00	\$146,700.00			
15		Add concrete driveway apron for new parking	sf	4200	\$10.00	\$42,000.00			
16		Provide new site lighting for new parking	ea	6	\$4,000.00	\$24,000.00			
17		Remove abandoned play equipment	ls	1	\$5,000.00	\$5,000.00			
18		Provide new metal secured mechanical yard fencing	lf	45	\$90.00	\$4,050.00			
19		Add chain link fencing at one-story bldg & gym	lf	300	\$65.00	\$19,500.00			
20		Building signage and wayfinding	ls	1	\$15,000.00	\$15,000.00			
21		Landscape improvments - sod repair	ls	1	\$60,000.00	\$60,000.00			
22									
23	EXTERIOR								
24	WORK	Provide repointing of missing masonry grout	ls	500	\$9.00	\$4,500.00			
25		Clean brick and stone	sf	15300	\$2.75	\$42,075.00			
26		Repaint sheet metal work	lf	450	\$5.00	\$2,250.00			
27		Replace existing windows with insulated units	sf	3910	\$165.00	\$645,150.00			
28		for energy savings - removal includes abatement							
29									
30	INTERIOR								
31	WORK	Add ADA compliant handrails at stairs	lf	720	\$75.00	\$54,000.00			
32	GENERAL	Replace all suspended acoustical ceilings	sf	19000	\$4.25	\$80,750.00			
33		Refinish all wood floors	sf	11900	\$6.50	\$77,350.00			
34		Remove VCT floors (inc abatement). Provide LVT	sf	7020	\$7.00	\$49,140.00			
35		Repaint all interiors	sf	26880	\$3.00	\$80,640.00			
36		Provide new door hardware for all doors to remain	ea	42	\$500.00	\$21,000.00			
37		Room signage	ea	77	\$70.00	\$5,390.00			
38		See MEP for work at all floors							
39									
40									171
41									

	A	B	C	D	E	F	G	H	I
6	OPINION OF PROBABLE CONSTRUCTION COST								
7	ELEMENT	ITEM DESCRIPTION	UNITS	UNIT QUANTITY	UNIT COST MATERIALS & LABOR	BASE COST	GENERAL CONDITIONS - 18%	INFLATION TO BID DATE - 5%	ITEM TOTAL
42	INTERIOR								
43	WORK	New walls for door clearance requirement	sf	275	\$12.00	\$3,300.00			
44	FIRST FLOOR	New walls to secure staff areas	sf	60	\$12.00	\$720.00			
45		New walls for restrooms	sf	950	\$12.00	\$11,400.00			
46		Selective demolition of existing walls, finishes	sf	9060	\$2.00	\$18,120.00			
47		New doors at restrooms and door clearance relocate	ea	10	\$1,200.00	\$12,000.00			
48		New ceramic wall tile wainscot in restrooms	sf	800	\$15.00	\$12,000.00			
49		New ceramic floor tile in restrooms	sf	580	\$18.00	\$10,440.00			
50		New toilet accessories	ea	50	\$300.00	\$15,000.00			
51		New gypsum ceilings in restrooms	sf	580	\$6.00	\$3,480.00			
52		New casework for public breakroom	lf	10	\$720.00	\$7,200.00			
53		Repair cracks in plaster at stairs	lf	30	\$50.00	\$1,500.00			
54		Repairs for removed items (cap lines, flr slab, clng)	ls	1	\$10,000.00	\$10,000.00			
55									
56	INTERIOR								
57	WORK	New walls for Admin office	sf	450	\$12.00	\$5,400.00			
58	SECOND FLOOR	New walls to secure staff areas	sf	260	\$12.00	\$3,120.00			
59		New walls for restrooms	sf	950	\$12.00	\$11,400.00			
60		Selective demolition of existing walls, finishes	sf	8910	\$2.00	\$17,820.00			
61		Infill walls at removed doors	sf	50	\$15.00	\$750.00			
62		New interior doors at new spaces	ea	10	\$1,200.00	\$12,000.00			
63		New ceramic wall tile wainscot in restrooms	sf	600	\$15.00	\$9,000.00			
64		New ceramic floor tile in restrooms	sf	460	\$18.00	\$8,280.00			
65		New toilet accessories	ea	35	\$300.00	\$10,500.00			
66		New gypsum ceilings in restrooms	sf	460	\$6.00	\$2,760.00			
67		New casework for staff breakroom	lf	10	\$720.00	\$7,200.00			
68		New public service security windows and counter	sf	160	\$300.00	\$48,000.00			
69		Repairs for removed items (cap lines, flr slab, clng)	ls	1	\$10,000.00	\$10,000.00			
70									
71	INTERIOR								
72	WORK	New walls for offices	sf	2310	\$12.00	\$27,720.00			
73	THIRD FLOOR	New walls for restroom, breakroom	sf	550	\$12.00	\$6,600.00			
74		Selective demolition of existing walls, finishes	sf	8910	\$2.00	\$17,820.00			
75		New interior doors at new spaces	ea	10	\$1,200.00	\$12,000.00			
76		New ceramic wall tile wainscot in restrooms	sf	400	\$15.00	\$6,000.00			
77		New ceramic floor tile in restrooms	sf	300	\$18.00	\$5,400.00			
78		New toilet accessories	ea	28	\$300.00	\$8,400.00			172
79		New gypsum ceilings in restrooms	sf	300	\$6.00	\$1,800.00			

	A	B	C	D	E	F	G	H	I
6	OPINION OF PROBABLE CONSTRUCTION COST								
7	ELEMENT	ITEM DESCRIPTION	UNITS	UNIT QUANTITY	UNIT COST MATERIALS & LABOR	BASE COST	GENERAL CONDITIONS - 18%	INFLATION TO BID DATE - 5%	ITEM TOTAL
80		New casework for staff breakroom	lf	20	\$720.00	\$14,400.00			
81		Repairs for removed items (cap lines, flr slab, clng)	ls	1	\$10,000.00	\$10,000.00			
82									
83	MEP WORK								
84	ALL FLOORS	Elevator Repairs	ls	1	\$8,000.00	\$8,000.00			
85		Option 2 HVAC central plant inc ductwork / controls	ls	1	\$1,612,191.00	\$1,612,191.00			
86		Remove existing ductwork inc abatement	ls	1	\$55,000.00	\$55,000.00			
87		Electrical, lighting and fire alarm replacement	ls	1	\$729,390.00	\$729,390.00			
88		Fire sprinler system rework for new layout	ls	1	\$12,500.00	\$12,500.00			
89		Interior plumbing systems	ls	1	\$364,695.00	\$364,695.00			
90		Replace exterior water and sewer lines	lf	500	\$175.00	<u>\$87,500.00</u>			
91						\$4,676,611.00	\$841,790	\$275,920	\$5,794,321
92									
93		Does not include work to single story building or gym							
94									
95									
96									
97									
98									
99									
100		Average cost to renovate single story building inc	per sf	\$350 to \$500	4500 sf	\$ 1,575,000	\$ 2,250,000		
101		new roofing, rotted roof framing replacement,							
102		new hvac, new lighging, new finishes, general							
103		repairs							
104									
105		Average cost for gym repairs, metal roof coating	per sf	\$175 to \$300	8162 sf	\$ 1,428,350	\$ 2,448,600		
106		new hvac, new lighting, new finishes, general							
107		repairs							
108									
109									
110									

Appendix C: Cost Estimate

MEP ESTIMATE - OPTION 1						
Item	Description	Quantity		Material/Equipment/Labor		Total
		Unit	Quantity	Unit Cost	Amount	Amount
1	PACKAGED UNIT / VAV / DUCTS	TON	64	\$10,000.00	\$640,000.00	\$640,000.00
2	WIRELESS CONTROLS	SF	24,313	\$7.00	\$170,191.00	\$170,191.00
3	PLUMBING SYSTEMS	SF	24,313	\$15.00	\$364,695.00	\$364,695.00
4	SPLIT SYSTEM / DUCTWORK	TON	39	\$12,000.00	\$468,000.00	\$468,000.00
5	ELECTRICAL AND FIRE ALARM SYSTEMS	SF	24,313	\$30.00	\$729,390.00	\$729,390.00
6						
19	SUBTOTAL				\$2,372,276.00	\$2,372,276.00

MEP ESTIMATE-OPTION 2						
Item	Description	Quantity		Material/Equipment/Labor		Total
		Unit	Quantity	Unit Cost	Amount	Amount
1	CHILLERS / AIR HANDLER / VAV / DUCTS	TON	103	\$14,000.00	\$1,442,000.00	\$1,442,000.00
2	WIRELESS CONTROLS	SF	24,313	\$7.00	\$170,191.00	\$170,191.00
3	PLUMBING SYSTEMS	SF	24,313	\$15.00	\$364,695.00	\$364,695.00
4	ELECTRICAL AND FIRE ALARM SYSTEMS	SF	24,313	\$30.00	\$729,390.00	\$729,390.00
5						
19	SUBTOTAL				\$2,706,276.00	\$2,706,276.00



DOCKERY
ARCHITECTURE

MARY ERSKINE BUILDING ASSESSMENT

EXISTING CONDITIONS AND
NEW CONCEPT DRAWINGS

DEBRA J. DOCKERY, ARCHITECT, P.C.
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SAN ANTONIO, TX 78205
PHONE (210) 225-6130
FAX (210) 225-7588

GUADALUPE APPRAISAL DISTRICT
216 E. COLLEGE
MARY ERSKINE SCHOOL
SEGUIN TX 78155

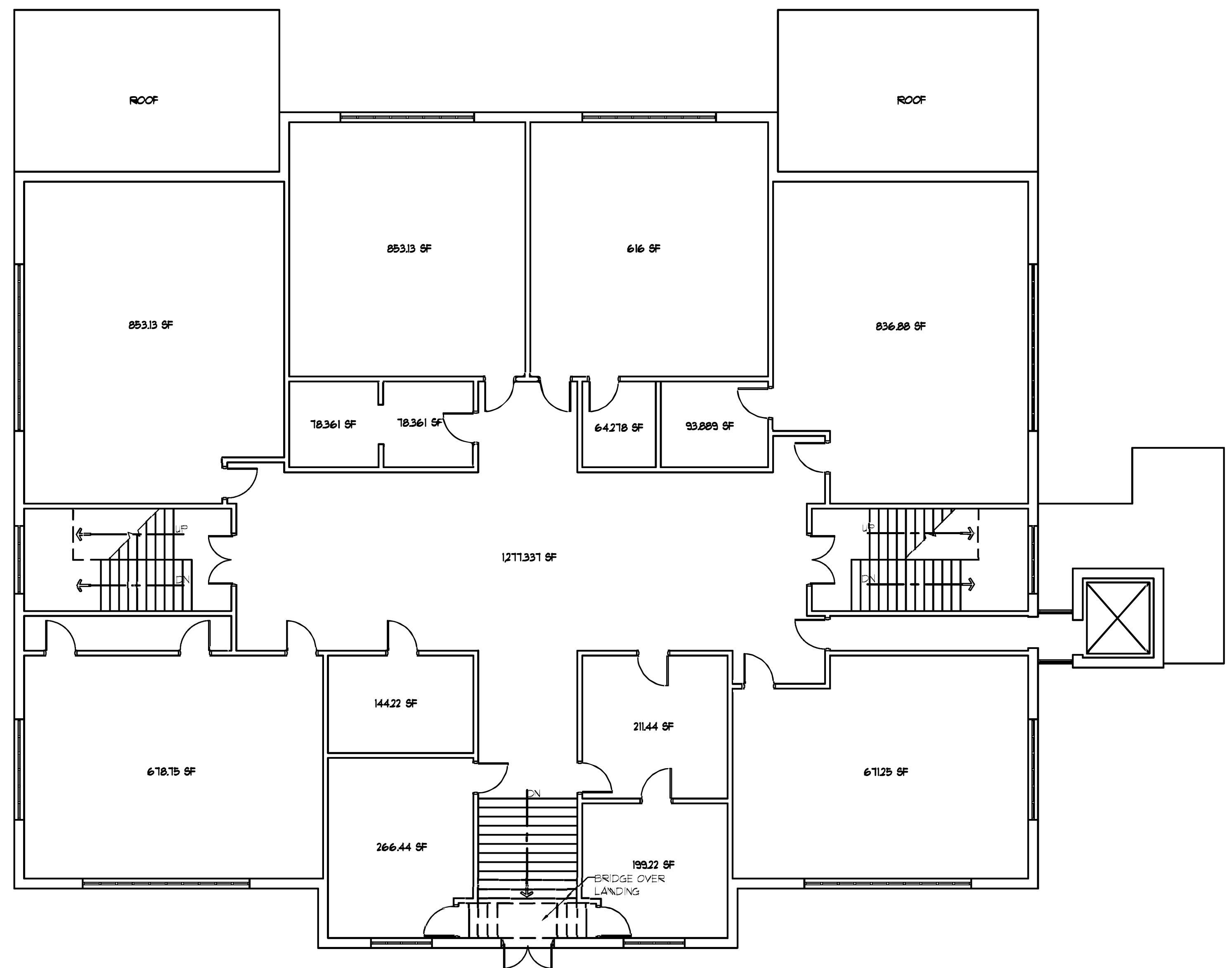
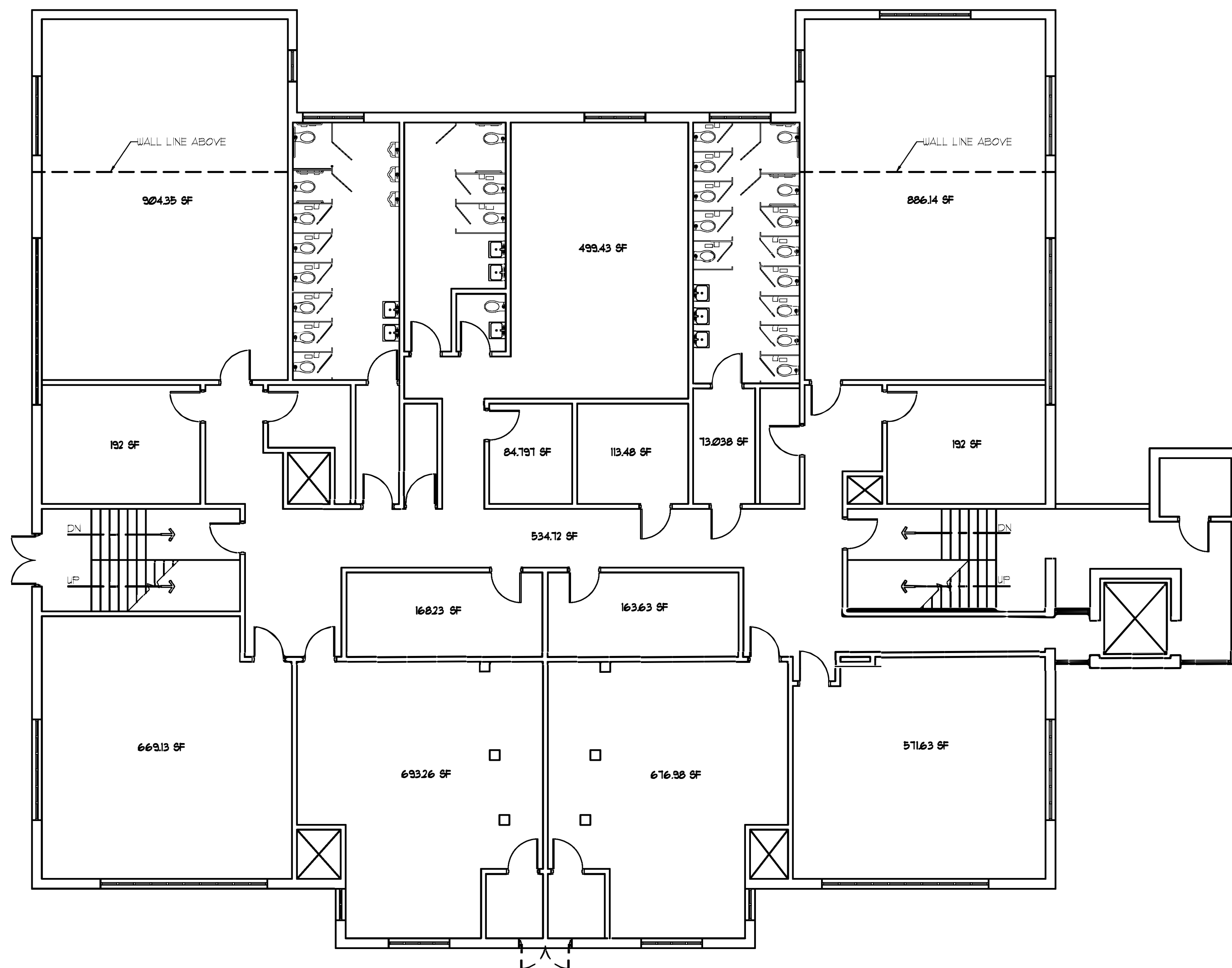
REVISIONS

PROJECT NO.
2025-01

PHASE
CONSTRUCTION
DOCUMENTS

DATE
APRIL 2025

DESCRIPTION
EXISTING FIRST
& SECOND
FLOOR PLAN



DEBRA J. DOCKERY, ARCHITECT, P.C.

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GUADALUPE APPRAISAL DISTRICT
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MARY ERSKINE SCHOOL
SEGUIN TX 78155

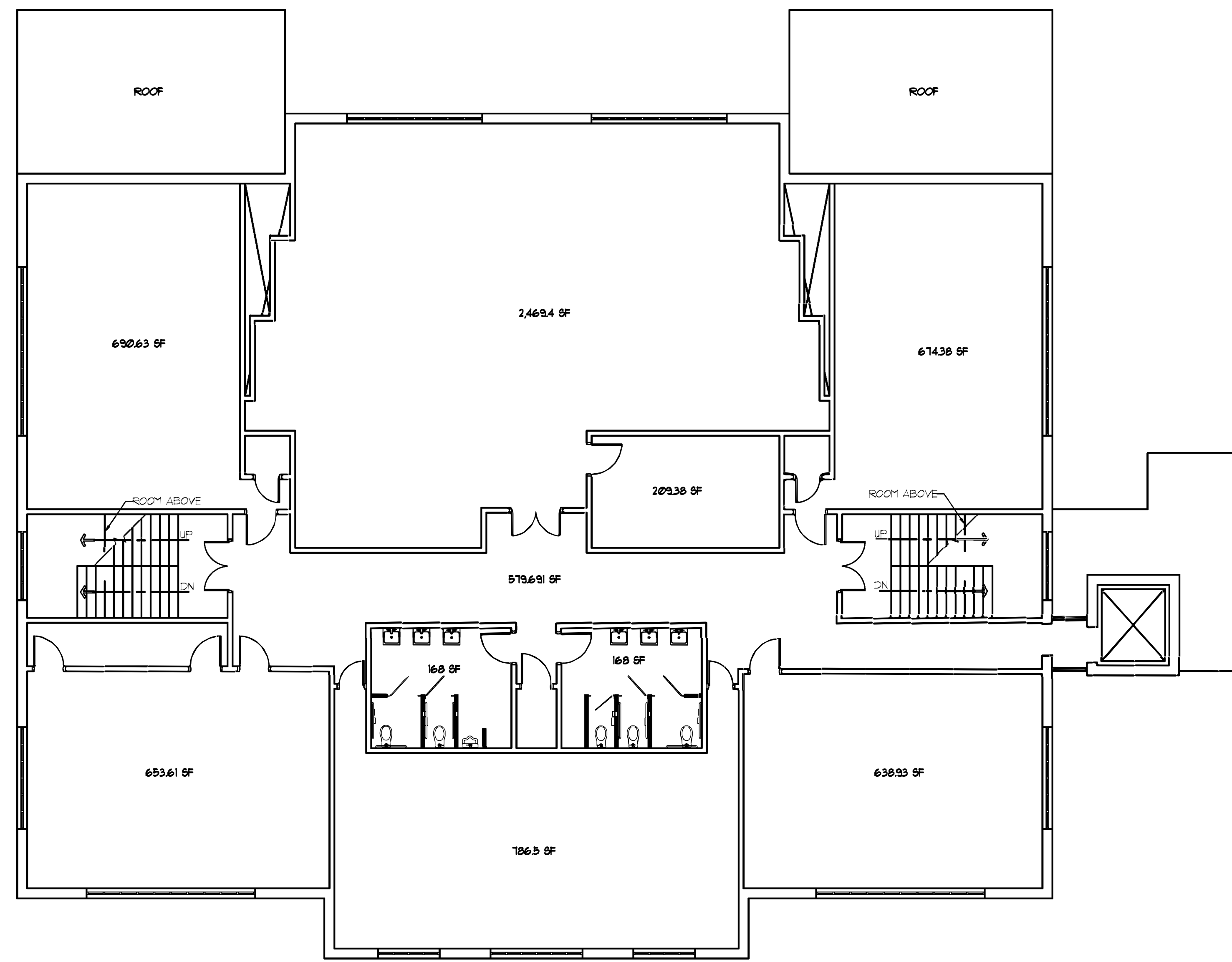
REVISIONS

PROJECT NO.
2025-01

PHASE
CONSTRUCTION
DOCUMENTS

DATE
APRIL 2025

DESCRIPTION
EXISTING THIRD
FLOOR PLAN



03 EXISTING
THIRD FLOOR LEVEL
SCALE: 1/8"=1'-0"



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MARY ERSKINE SCHOOL
SEGUIN TX 78155

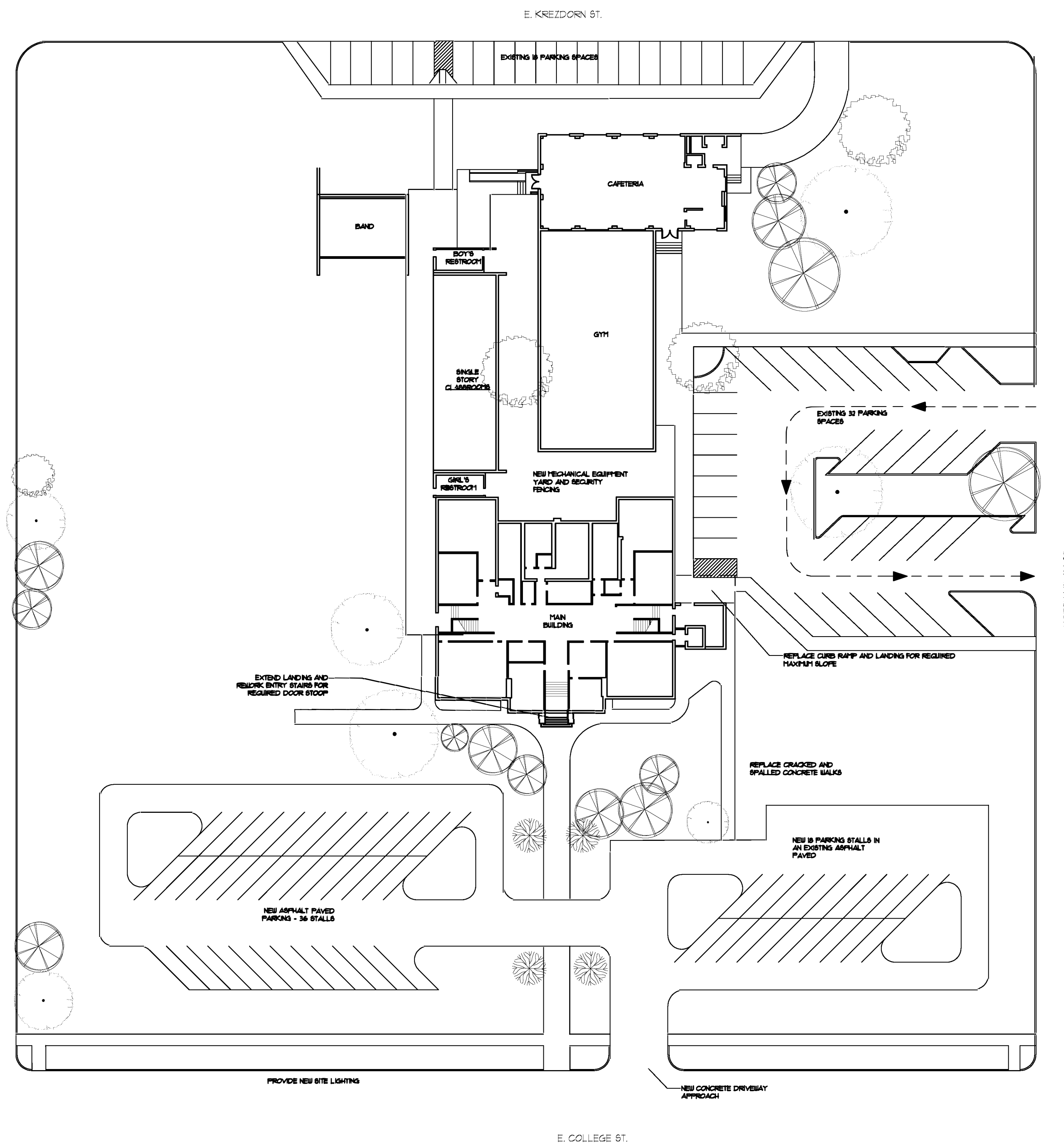
REVISIONS

PROJECT NO.
2025-01

PHASE
CONSTRUCTION DOCUMENTS

DATE
APRIL 2025

DESCRIPTION
CAMPUS SITE PLAN



01 **CAMPUS SITE PLAN**
SCALE: 1/32"=1'-0"



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216 E. COLLEGE
MARY ERSKINE SCHOOL
SEGUIN TX 78155

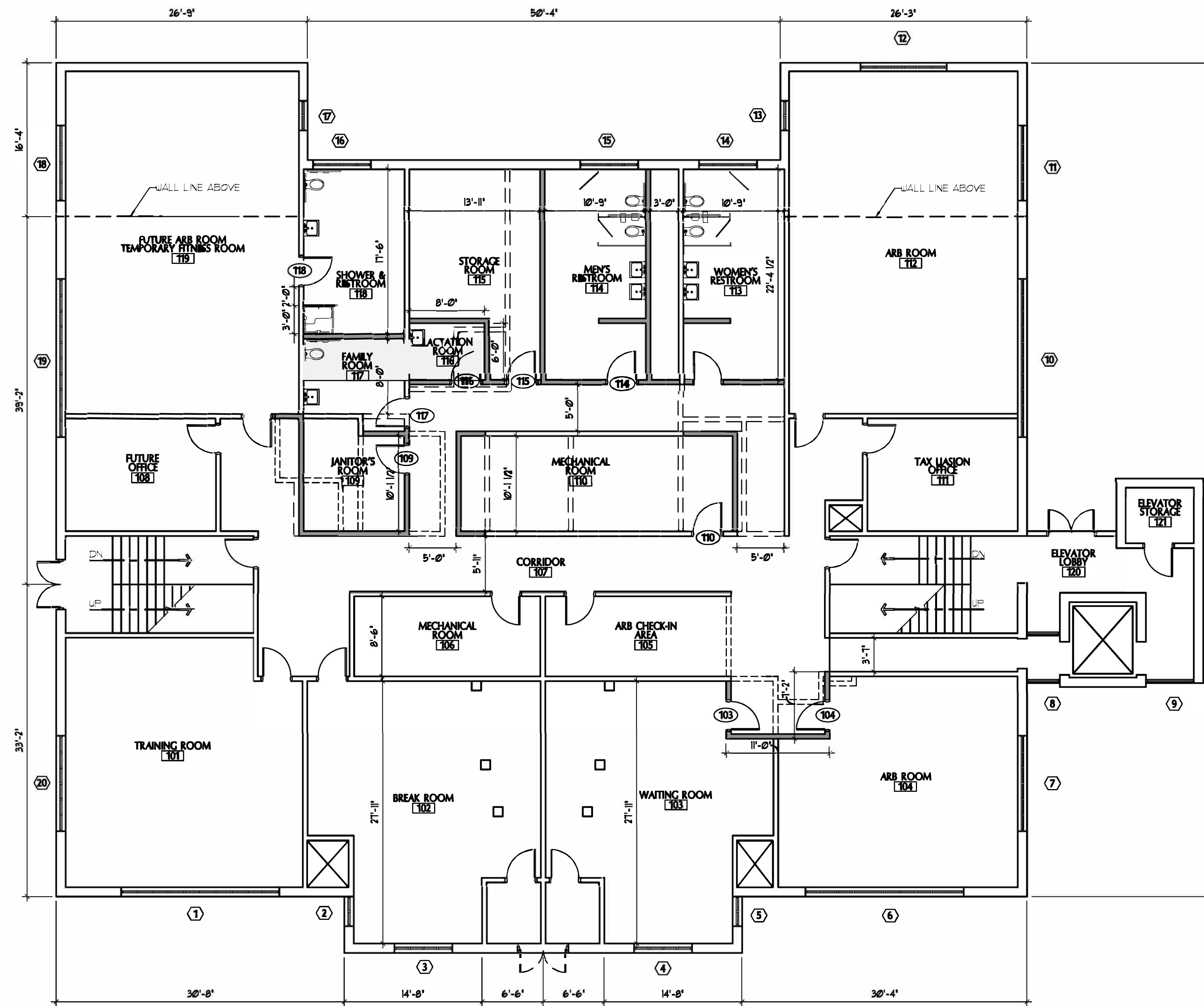
REVISIONS

PROJECT NO.
2025-01

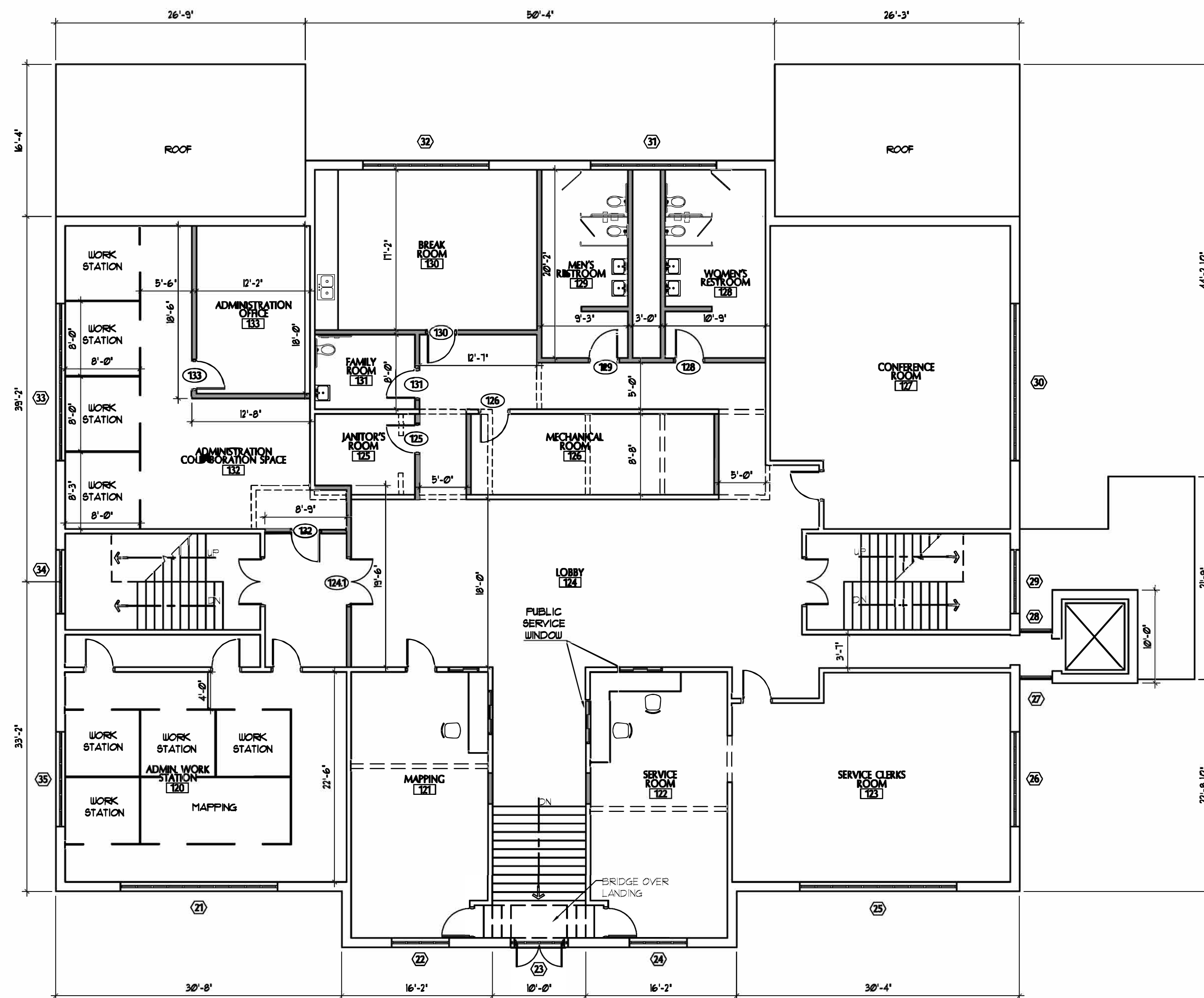
PHASE
CONSTRUCTION
DOCUMENTS

DATE
APRIL 2025

DESCRIPTION
FIRST FLOOR
PLAN



01 FIRST FLOOR LEVEL
SCALE 1/8"=1'-0"
Plan North



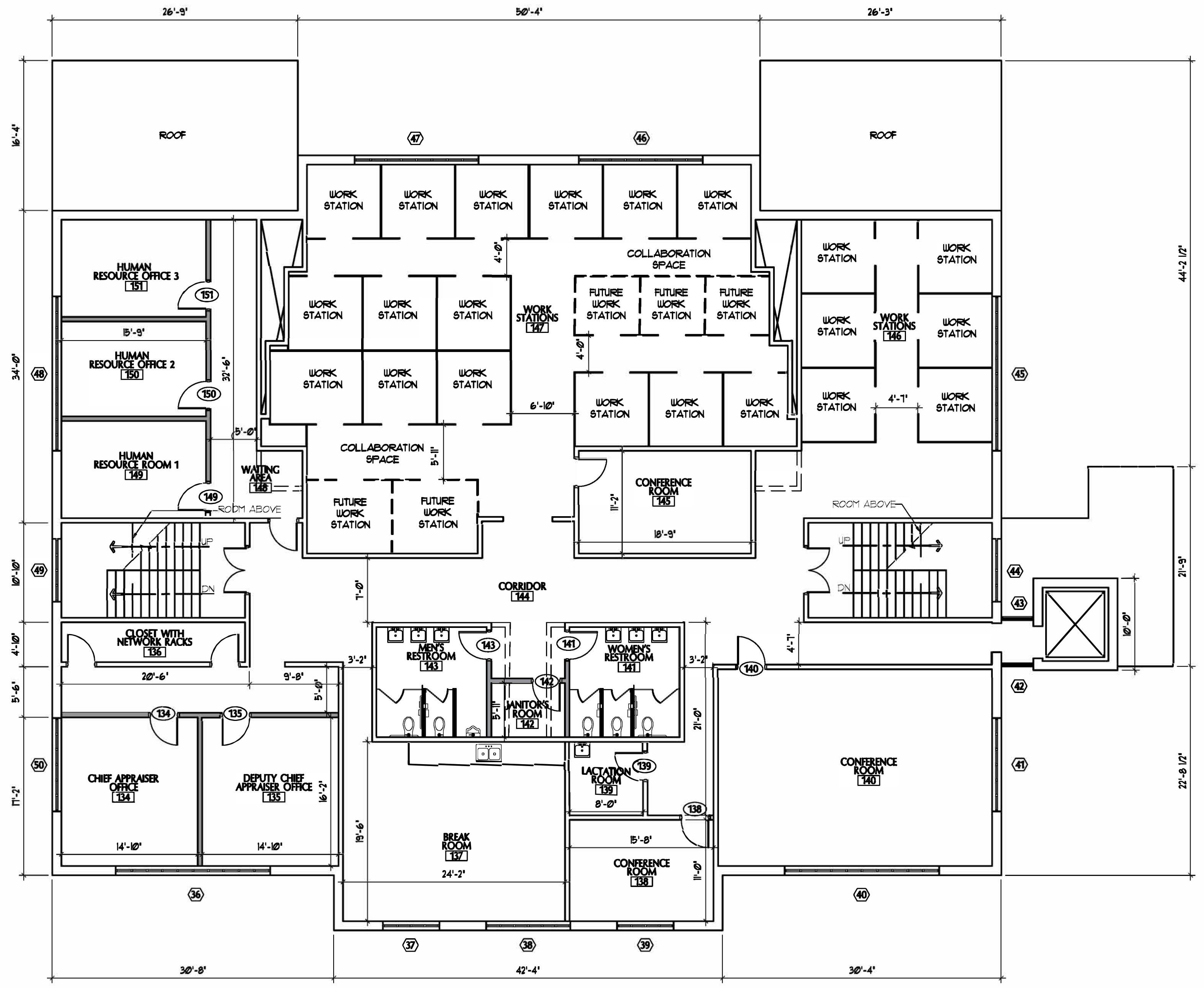
02 SECOND FLOOR LEVEL
 SCALE 1/8"=1'-0"
 Plan North

REVISIONS

PROJECT NO.
 2025-01

PHASE
 CONSTRUCTION
 DOCUMENTS
 DATE
 APRIL 2025

DESCRIPTION
 SECOND FLOOR
 PLAN



03 THIRD FLOOR LEVEL
 SCALE 1/8"=1'-0"
 Plan North

INTERIM REVIEW ONLY
 Document incomplete.
 Not intended for permit,
 bidding, or construction.
 ARCHITECT: Debra J. Dockery
 TX License Reg. No. 11931

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GUADALUPE APPRAISAL DISTRICT
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 MARY ERSKINE SCHOOL
 SEGUIN TX 78155

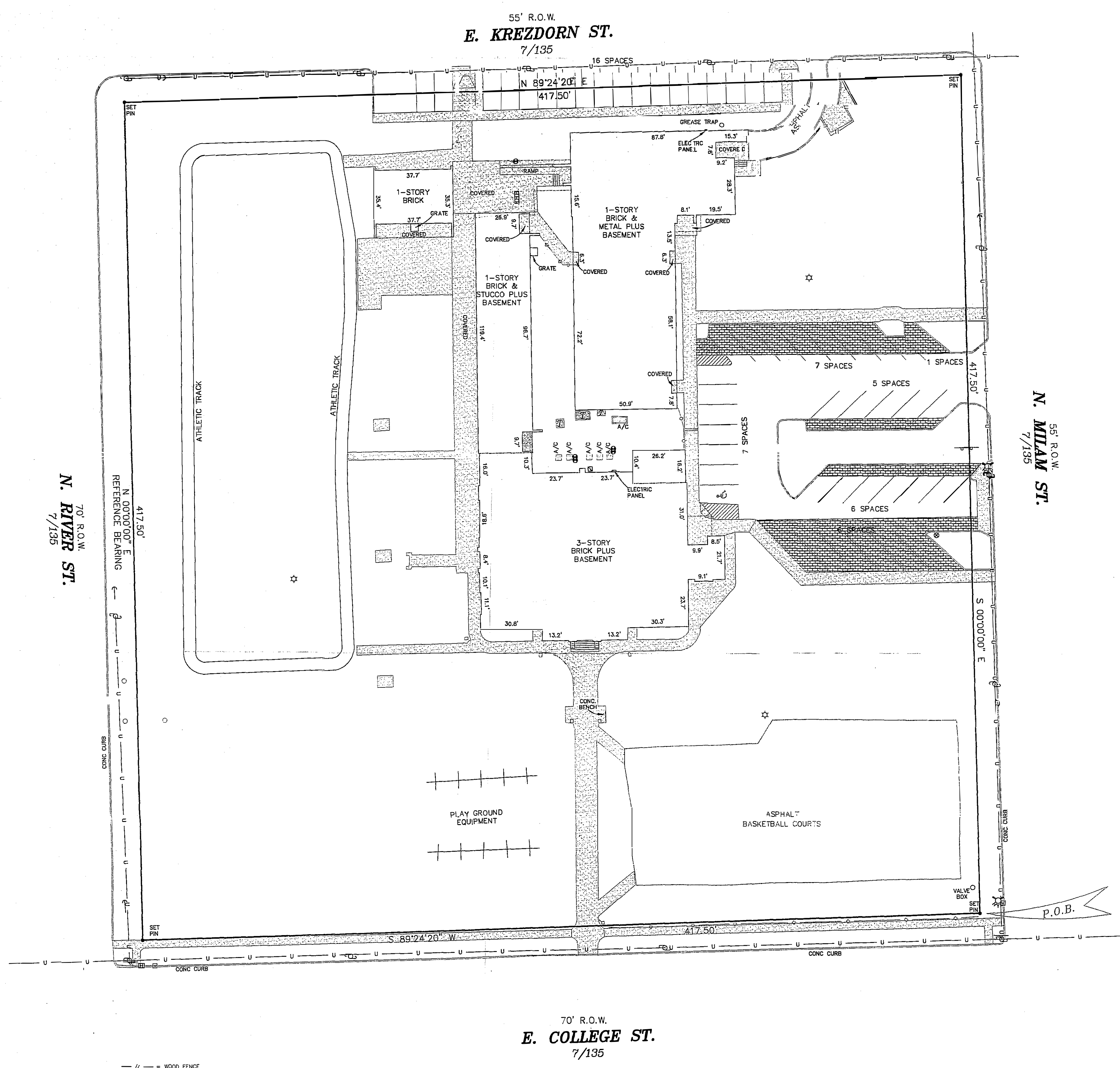
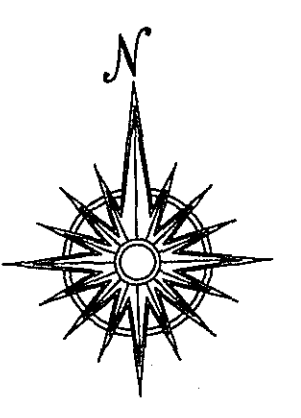
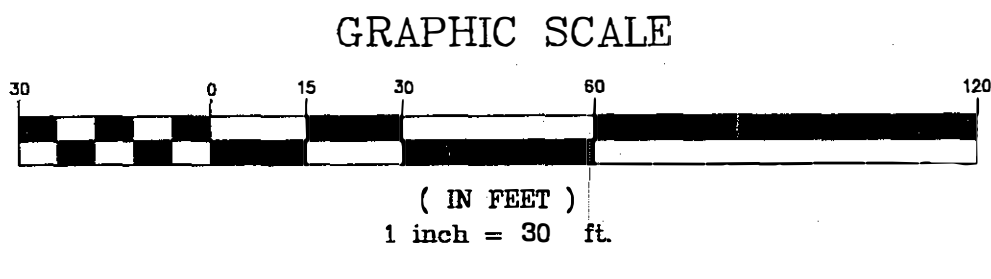
REVISIONS
PROJECT NO. 2025-01
PHASE CONSTRUCTION DOCUMENTS
DATE APRIL 2025
DESCRIPTION THIRD FLOOR PLAN



MARY ERSKINE BUILDING ASSESSMENT

REFERENCES

NOTES:
 BASIS OF BEARING IS ASSUMED ALONG THE EAST ROW LINE OF N. RIVER ST.
 TRI-COUNTY SURVEYING, INC., HAS MADE NO FLOOD ZONE DETERMINATION FOR THE PROPERTY SHOWN HEREON.
 ALL SET PINS ARE 1/2" DIAMETER REBAR WITH AN ORANGE PLASTIC CAP STAMPED "TRI-COUNTY".
 CORRESPONDING FIELD NOTES PREPARED.



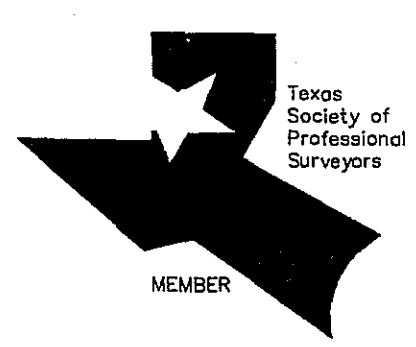
- WOOD FENCE
- CHAIN-LINK FENCE
- OVERHEAD UTILITY
- UTILITY POLE
- GUY
- LIGHT POLE
- WATER METER
- SIGN
- CLEAN OUT
- RISER
- GAS METER
- FIRE HYDRANT
- CONCRETE
- BRICK
- TRANSFORMER

PREPARED FOR:
 SEGUIN INDEPENDENT SCHOOL DISTRICT

216 E. COLLEGE ST.
 PLAT SHOWING:
 SURVEY OF A 4.00 ACRE TRACT OF LAND SITUATED IN THE HUMPHRIES BRANCH SURVEY NO. 17, ABSTRACT 6, CITY OF SEGUIN, BEING A PORTION OF LOT 4, BLOCK 2, FARMING LOTS OF THE TOWN OF SEGUIN, PLAT RECORDED IN VOLUME A, PAGE 158, DEED RECORDS, GUADALUPE COUNTY, TEXAS, AND BEING THAT TRACT OF LAND CONVEYED TO BOARD OF TRUSTEES OF SEGUIN INDEPENDENT SCHOOL DISTRICT, BY DEED RECORDED IN VOLUME 3077, PAGE 660, OFFICIAL RECORDS, GUADALUPE COUNTY, TEXAS.

114 NORTH AUSTIN
 SEGUIN, TEXAS 78155
 PH: (830) 372-1001
 FX: (830) 379-1155

THIS GRAPHIC WORK REPRESENTS THE RESULTS OF A SURVEY BEING PROVIDED BY TRI-COUNTY SURVEYING, INC. SOLELY FOR THE EXCLUSIVE USE OF THE PARTIES SHOWN HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED, TO COPY OR USE THIS GRAPHIC WORK OTHER THAN FOR THE PURPOSE SHOWN HEREON. THIS SURVEY IS EMBOSSED WITH THE SURVEYOR'S IMPRESSION SEAL AND SIGNED IN RED INK. IF THIS PLAT DOES NOT HAVE THESE TWO CONDITIONS FULFILLED, IT IS A COPY AND MAY HAVE BEEN ALTERED. TRI-COUNTY SURVEYING, INC. ASSUMES NO RESPONSIBILITY FOR COPIES OF THIS SURVEY OTHER THAN THE COPIES BEARING THE ORIGINAL IMPRESSION SEAL AND SIGNATURE SIGNED IN RED INK. ALL RIGHTS RESERVED, COPYRIGHT 2013, TRI-COUNTY SURVEYING, INC.



STATE OF TEXAS,
 COUNTY OF GUADALUPE:

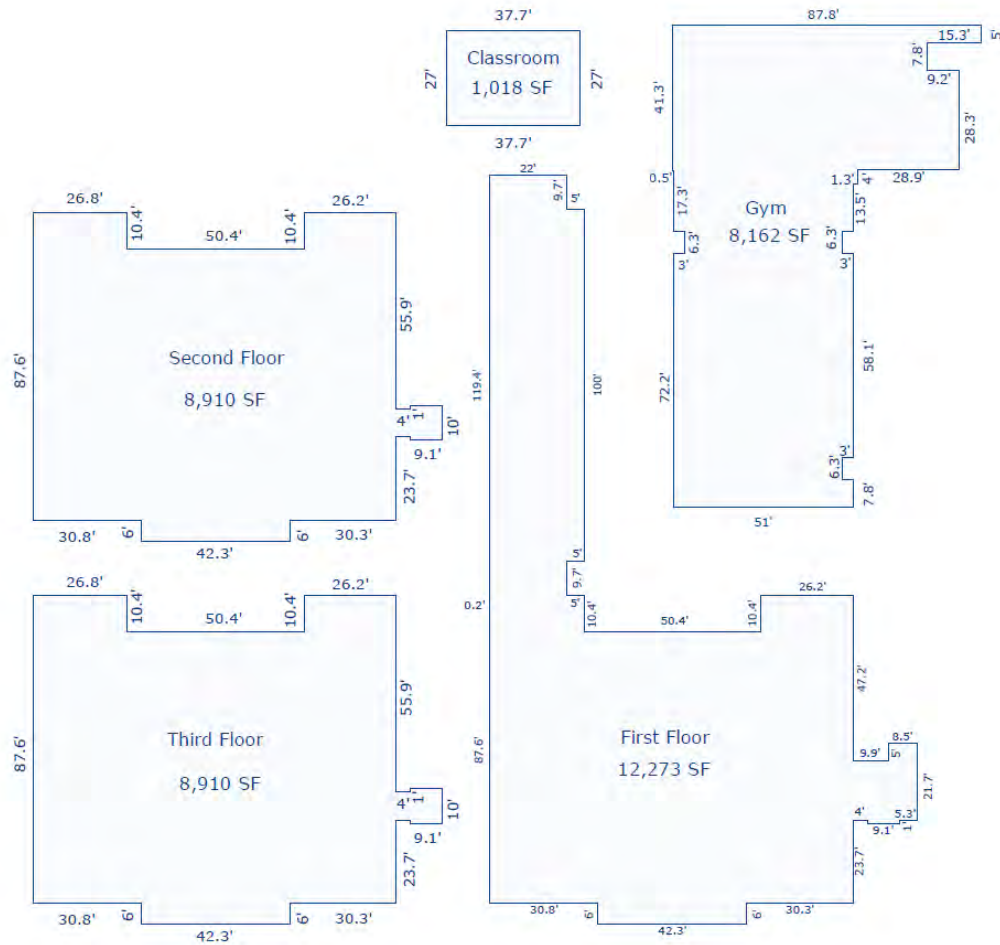
I, AUBREY C. DUNN, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE PROPERTY HEREIN WORKING UNDER MY SUPERVISION AND I AM THE RESPONSIBLE EASEMENTS OR ENCROACHMENTS, EXCEPT AND DOWN.

Aubrey C. Dunn
 AUBREY C. DUNN
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4493

SURVEYED: NOVEMBER 9, 2021
 PROJECT NO.: 1307104 DWG No.: 1307104A



BUILDING SKETCH



Scale: 1" = 40'

AREA CALCULATIONS SUMMARY			
Code	Description	Net Size	Net Totals
GBA1	First Floor	12273.16	39273.23
	Gym	8161.21	
	Classroom	1017.90	
	Second Floor	8910.48	
	Third Floor	8910.48	
Net BUILDING Area		(rounded)	39273

BUILDING AREA BREAKDOWN		
Breakdown		Subtotals
First Floor		
22.0 x	9.7	213.40
103.4 x	36.8	3805.12
10.4 x	26.8	278.72
9.7 x	22.0	213.40
100.0 x	27.0	2700.00
10.4 x	26.2	272.48
121.8 x	16.7	2034.06
5.0 x	8.5	42.50
1.0 x	9.1	9.10
23.7 x	103.4	2450.58
6.0 x	42.3	253.80
Gym		
51.0 x	7.8	397.80
6.3 x	45.0	283.50
58.1 x	51.0	2963.10
6.3 x	48.0	302.40
51.0 x	13.5	688.50
52.8 x	0.2	10.56
3.8 x	52.3	198.74
5.0 x	87.8	439.00
1		21716.47
38 Items	(rounded)	39273



ERSKINE ELEMENTARY- SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: 12x12" Cream w/ Tan Streak Floor Tile and Mastic
2. Homogeneous Area 1: ~750 Square Feet – Room 108
3. Sample Collection Area: N/A
4. Sample number's: N/A
5. Material Classification: Miscellaneous
6. Friable or Non- Friable: Non Friable
7. Sample Analysis Result: Assumed
8. Condition: Good with potential for damage
9. Accessibility: Moderate
10. Recommended Action: Maintain on Asbestos O&M Plan

FIELD NOTES AND OBSERVATIONS

The floor tile appeared to be in good condition.

PREVENTATIVE MEASURES

Floor tile must be maintained by regular cleaning and waxing. Stripping old wax shall be conducted by utilizing a generous quantity of sudsy H₂O. Use ample quantity of wax and apply with a buffer not exceeding 300 rpm when re-waxing floors. Furniture or equipment shall be moved across asbestos containing floor tile only by the use of dollies or portable trucks and then only if the floor has been protected with rubber mats or other effective protective covering. Sanding, grinding, cutting or abrading asbestos containing floor tile is prohibited. Under no circumstances shall carpet with asbestos containing floor tile under it be lifted or removed or the floor tile removed except by EPA accredited/DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed supervisor.



Mark D. Freemyer

8/24/2018

Date

#105695

Texas DSHS License #

ERSKINE ELEMENTARY- SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: 12x12" Off-white with grey pattern floor tile and mastic
2. Homogeneous Area 2: ~57,190 Square Feet – Main Building – First Floor Corridors, Lobby 5, Classroom 304 (303 on floor plan) east and west Stairwell landings, Main Entry, Classroom 402 and Old Cafeteria and Storage Closet; Gymnasium Stage and Storages, Room 105 & 107, 1st Floor Storage & Mechanical Room and Teacher's Lounge
3. Sample Collection Area: 1st Floor Elevator Lobby, 3rd Floor Classroom 302 (marked as 303 on floor plan) and Janitor's Closet
4. Sample number's: H2 – A, B & C
5. Material Classification: Miscellaneous
6. Friable or Non- Friable: Non Friable
7. Sample Analysis Result: Chrysotile, 1.5%
8. Condition: Good with potential for damage
9. Accessibility: Low
10. Recommended Action: Maintain on Asbestos O&M Plan

FIELD NOTES AND OBSERVATIONS

The 12x12 in floor tile appears to be in good condition and well maintained. Some partially damaged tiles in Classroom 4.

PREVENTATIVE MEASURES

Floor tile must be maintained by regular cleaning and waxing. Stripping old wax shall be conducted by utilizing a generous quantity of sudsy H₂O. Use ample quantity of wax and apply with a buffer not exceeding 300 rpm when re-waxing floors. Furniture or equipment shall be moved across asbestos containing floor tile only by the use of dollies or portable trucks and then only if the floor has been protected with rubber mats or other effective protective covering. Sanding, grinding, cutting or abrading asbestos containing floor tile is prohibited. Under no circumstances shall carpet with asbestos containing floor tile under it be lifted or removed or the floor tile removed except by EPA accredited/DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed supervisor.



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ERSKINE ELEMENTARY- SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: HVAC vibration damper
2. Homogeneous Area 3: Attached to four exterior HVAC package units.
3. Sample Collection Area: N/A
4. Sample numbers: N/A
5. Material Classification: Miscellaneous
6. Friable or Non- Friable: Non Friable
7. Sample Analysis Result: Assumed
8. Condition: Good with potential for damage
9. Accessibility: Low
10. Recommended Action: Maintain on Asbestos O&M Plan

FIELD NOTES AND OBSERVATIONS

The 4 vibration dampers appear to be in good condition.

PREVENTATIVE MEASURES

Asbestos containing HVAC vibration dampers should be monitored on a regular basis. At no time shall personnel or employees impact ACM or tape either by hand or with any powered machinery. Sanding, grinding, cutting, abrading, drilling or puncturing asbestos containing vibration dampers shall not be permitted. Any penetrations, removal, or repair to Asbestos containing vibration damper material must be conducted only by accredited/DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed supervisor.



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ERSKINE ELEMENTARY- SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: HVAC duct caulking
2. Homogeneous Area 4: 12 Linear Feet – interface between HVAC duct penetration and the exterior wall
3. Sample Collection Area: N/A
4. Sample numbers: N/A
5. Material Classification: Miscellaneous
6. Friable or Non- Friable: Non Friable
7. Sample Analysis Result: Assumed
8. Condition: Good with potential for damage
9. Accessibility: Low
10. Recommended Action: Maintain on Asbestos O&M Plan

FIELD NOTES AND OBSERVATIONS

Materials appear to be in good condition.

PREVENTATIVE MEASURES

Asbestos containing caulking should be monitored on a regular basis. At no time shall personnel or employees impact ACM or caulk either by hand or with any powered machinery. Sanding, grinding, cutting, abrading, drilling or puncturing asbestos containing caulking shall not be permitted. Any penetrations, removal, or repair to Asbestos containing caulking must be conducted only by accredited/DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed supervisor.



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216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/20/2018

1. Type of Material: Exterior Caulk
2. Homogeneous Area 5: 1,000 Linear Feet – doorways and windows of the Main Building
3. Sample Collection Area: Main Building
4. Sample numbers: ErE-C44
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: 7% Chrysotile
8. Condition: Good
9. Accessibility: Low
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Caulk was in good condition and non-friable.

PREVENTATIVE MEASURES

Sanding, grinding, cutting or abrading asbestos containing caulking is prohibited. Under no circumstances shall ACM be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



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2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: 12x12" Cream/White Marbled Floor Tile and Mastic
2. Homogeneous Area 6: ~415 Square Feet – Elevator and Outside Elevator 1st Floor
3. Sample Collection Area: N/A
4. Sample number's: N/A
5. Material Classification: Miscellaneous
6. Friable or Non- Friable: Non Friable
7. Sample Analysis Result: Assumed
8. Condition: Good with potential for damage
9. Accessibility: Moderate
10. Recommended Action: Maintain on Asbestos O&M Plan

FIELD NOTES AND OBSERVATIONS

The floor tile appeared to be in good condition.

PREVENTATIVE MEASURES

Floor tile must be maintained by regular cleaning and waxing. Stripping old wax shall be conducted by utilizing a generous quantity of sudsy H₂O. Use ample quantity of wax and apply with a buffer not exceeding 300 rpm when re-waxing floors. Furniture or equipment shall be moved across asbestos containing floor tile only by the use of dollies or portable trucks and then only if the floor has been protected with rubber mats or other effective protective covering. Sanding, grinding, cutting or abrading asbestos containing floor tile is prohibited. Under no circumstances shall carpet with asbestos containing floor tile under it be lifted or removed or the floor tile removed except by EPA accredited/DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed supervisor.



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216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: Wood Flooring
2. Homogeneous Area 7: ~15,230 Square Feet – Classroom 1-3, Rooms 103 & 106, Throughout 2nd Floor Classrooms and Corridors, Room 301, 302, 304, 305, 306, 402 and 3rd Floor Corridor, Office/Attendance, Book Room (Room 306)
3. Sample Collection Area: N/A
4. Sample number's: N/A
5. Material Classification: Miscellaneous
6. Friable or Non- Friable: Non Friable
7. Sample Analysis Result: Assumed
8. Condition: Good with potential for damage
9. Accessibility: High
10. Recommended Action: Maintain on Asbestos O&M Plan

FIELD NOTES AND OBSERVATIONS

Wood flooring appeared to be in good condition and well maintained.

PREVENTATIVE MEASURES

Under no circumstances shall wood flooring be removed except by EPA accredited/DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed supervisor.



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8/24/2018

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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: Brown Cove Base
2. Homogeneous Area 8: ~1,475 Linear Feet – Room 4, Room 101-108, 1st Floor Corridor, Entry to Boy's and Girl's 1st Floor Restrooms, Storages, Lounge, MDF Room, Classroom 301, 302, 304, 305 & 402, 3rd Floor Corridor
3. Sample Collection Area: N/A
4. Sample numbers: N/A
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: Assumed
8. Condition: Good
9. Accessibility: Moderate
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Cove base appeared to be in good condition.

PREVENTATIVE MEASURES

Under no circumstances shall cove base be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



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216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: Grey Cove Base
2. Homogeneous Area 9: ~210 Linear Feet – Elevator, Rooms 1-3 and 3rd Floor Storage, 1st Floor Storage, Gymnasium Storages, Old Cafeteria
3. Sample Collection Area: N/A
4. Sample numbers: N/A
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: Assumed
8. Condition: Good
9. Accessibility: Moderate
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Cove base appeared to be in good condition.

PREVENTATIVE MEASURES

Under no circumstances shall cove base be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: Black Cove Base
2. Homogeneous Area 10: ~125 Linear Feet – Room 306, Cafeteria
3. Sample Collection Area: N/A
4. Sample numbers: N/A
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: Assumed
8. Condition: Good
9. Accessibility: Moderate
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Cove base appeared to be in good condition.

PREVENTATIVE MEASURES

Under no circumstances shall cove base be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



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8/24/2018
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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: Blue/Grey Terrazzo Flooring
2. Homogeneous Area 11: ~930 Square Feet – 1st Floor Boy's and Girl's Restrooms
3. Sample Collection Area: N/A
4. Sample number's: N/A
5. Material Classification: Miscellaneous
6. Friable or Non- Friable: Non Friable
7. Sample Analysis Result: Assumed
8. Condition: Good with potential for damage
9. Accessibility: Low
10. Recommended Action: Maintain flooring in a manner pursuant to the Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Terrazzo flooring appeared to be in good condition.

PREVENTATIVE MEASURES

Under no circumstances shall terrazzo flooring be removed except by EPA accredited/DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed supervisor.



Mark D. Freemyer

8/24/2018

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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: Black/Brown Terrazzo Flooring
2. Homogeneous Area 12: ~440 Square Feet – Old Kitchen
3. Sample Collection Area: N/A
4. Sample number's: N/A
5. Material Classification: Miscellaneous
6. Friable or Non- Friable: Non Friable
7. Sample Analysis Result: Assumed
8. Condition: Good with potential for damage
9. Accessibility: Low
10. Recommended Action: Maintain flooring in a manner pursuant to the Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Terrazzo flooring appeared to be in good condition.

PREVENTATIVE MEASURES

Under no circumstances shall terrazzo flooring be removed except by EPA accredited/DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed supervisor.



Mark D. Freemyer

8/24/2018
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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: Grey Ceramic Tile Grout
2. Homogeneous Area 13: ~600 Square Feet – Faculty Ladies and Men’s Restrooms, 3rd Floor Boy’s and Girl’s Restrooms
3. Sample Collection Area: N/A
4. Sample numbers: N/A
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: Assumed
8. Condition: Good
9. Accessibility: Moderate
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Ceramic tile grout appeared to be in good condition.

PREVENTATIVE MEASURES

Under no circumstances shall ceramic tile grout be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



Mark D. Freemyer

8/24/2018

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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: White Restroom Caulk
2. Homogeneous Area 14: ~175 Linear Feet – Girl’s and Boy’s Restroom
3. Sample Collection Area: N/A
4. Sample numbers: N/A
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: Assumed
8. Condition: Good
9. Accessibility: Moderate
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Caulk appeared to be in good condition.

PREVENTATIVE MEASURES

Under no circumstances shall caulk be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



Mark D. Freemyer

8/24/2018
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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: Grey Sink Undercoat
2. Homogeneous Area 15: 3 Fixtures – Room 101 and Lounge
3. Sample Collection Area: N/A
4. Sample numbers: N/A
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: Assumed
8. Condition: Good
9. Accessibility: Moderate
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Sink Undercoat appeared to be in good condition.

PREVENTATIVE MEASURES

Under no circumstances shall sink undercoat be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



Mark D. Freemyer

8/24/2018
Date

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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: White Ceramic Tile Grout
2. Homogeneous Area 16: ~300 Square Feet – Faculty Ladies and Men’s Restrooms
3. Sample Collection Area: N/A
4. Sample numbers: N/A
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: Assumed
8. Condition: Good
9. Accessibility: Moderate
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Ceramic tile grout appeared to be in good condition.

PREVENTATIVE MEASURES

Under no circumstances shall ceramic tile grout be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2018 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/18/2015

Re-Inspection Date: 8/21/2018

1. Type of Material: Black Sink Undercoat
2. Homogeneous Area 17: 1 Fixture – Nurse's Clinic
3. Sample Collection Area: N/A
4. Sample numbers: N/A
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: Assumed
8. Condition: Good
9. Accessibility: Moderate
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Sink undercoat appeared to be in good condition.

PREVENTATIVE MEASURES

Under no circumstances shall sink undercoat be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



Mark D. Freemyer

8/24/2018
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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2021 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/20/2018

Re-Inspection Date: 8/12/2021

1. Type of Material: Exterior Caulk
2. Homogeneous Area 5: 1,000 Linear Feet – doorways and windows of the Main Building
3. Sample Collection Area: Main Building
4. Sample numbers: ErE-C44
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: 7% Chrysotile
8. Condition: Good
9. Accessibility: Low
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Caulk was in good condition and non-friable.

PREVENTATIVE MEASURES

Sanding, grinding, cutting or abrading asbestos containing caulking is prohibited. Under no circumstances shall ACBM be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



Mark D. Freemyer

8/13/2021
Date

#105695
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ERSKINE ELEMENTARY– SEGUIN ISD
216 EAST COLLEGE

2021 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/21/2018

Re-Inspection Date: 8/12/2021

1. Type of Material: 12x12" Off-white with grey pattern floor tile and mastic
2. Homogeneous Area 2: ~57,190 Square Feet – Main Building – First Floor Corridors, Lobby 5, Classroom 303 & 301 east and west Stairwell landings, Main Entry, Old Cafeteria and Storage Closet; Gymnasium Stage and Storages, Room 205, 105 & 107, 1st Floor Storage & Mechanical Room and Teacher's Lounge
3. Sample Collection Area: 1st Floor Elevator Lobby, 3rd Floor Classroom 303 and Janitor's Closet
4. Sample number's: H2 – A, B & C
5. Material Classification: Miscellaneous
6. Friable or Non- Friable: Non Friable
7. Sample Analysis Result: Chrysotile, 1.5%
8. Condition: Good with potential for damage
9. Accessibility: Low
10. Recommended Action: Maintain on Asbestos O&M Plan

FIELD NOTES AND OBSERVATIONS

The 12x12 in floor tile appears to be in good condition and well maintained. Some partially damaged tiles in Classroom 4.

PREVENTATIVE MEASURES

Floor tile must be maintained by regular cleaning and waxing. Stripping old wax shall be conducted by utilizing a generous quantity of sudsy H₂O. Use ample quantity of wax and apply with a buffer not exceeding 300 rpm when re-waxing floors. Furniture or equipment shall be moved across asbestos containing floor tile only by the use of dollies or portable trucks and then only if the floor has been protected with rubber mats or other effective protective covering. Sanding, grinding, cutting or abrading asbestos containing floor tile is prohibited. Under no circumstances shall carpet with asbestos containing floor tile under it be lifted or removed or the floor tile removed except by EPA accredited/DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed supervisor.



Mark D. Freemyer

8/13/2021

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ERSKINE ELEMENTARY – SEGUIN ISD
216 EAST COLLEGE

2021 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/20/2018

Re-Inspection Date: 8/12/2021

1. Type of Material: Exterior Caulk
2. Homogeneous Area 5: 1,000 Linear Feet – doorways and windows of the Main Building
3. Sample Collection Area: Main Building
4. Sample numbers: ErE-C44
5. Material Classification: Surface
6. Friable or Non- Friable: Non friable
7. Sample Analysis Result: 7% Chrysotile
8. Condition: Good
9. Accessibility: Low
10. Recommended Action: Maintain on Asbestos O&M Plan.

FIELD NOTES AND OBSERVATIONS

Caulk was in good condition and non-friable.

PREVENTATIVE MEASURES

Sanding, grinding, cutting or abrading asbestos containing caulking is prohibited. Under no circumstances shall ACBM be removed except by EPA accredited/ DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed asbestos supervisor.



Mark D. Freemyer

8/13/2021
Date

#105695
Texas DSHS License #

ERSKINE ELEMENTARY– SEGUIN ISD
216 EAST COLLEGE

2021 AHERA 3-YEAR REINSPECTION - HOMOGENEOUS AREA REPORT

Previous Inspection Date: 8/21/2018

Re-Inspection Date: 8/12/2021

1. Type of Material: 12x12" Off-white with grey pattern floor tile and mastic
2. Homogeneous Area 2: ~57,190 Square Feet – Main Building – First Floor Corridors, Lobby 5, Classroom 303 & 301 east and west Stairwell landings, Main Entry, Old Cafeteria and Storage Closet; Gymnasium Stage and Storages, Room 205, 105 & 107, 1st Floor Storage & Mechanical Room and Teacher's Lounge
3. Sample Collection Area: 1st Floor Elevator Lobby, 3rd Floor Classroom 303 and Janitor's Closet
4. Sample number's: H2 – A, B & C
5. Material Classification: Miscellaneous
6. Friable or Non- Friable: Non Friable
7. Sample Analysis Result: Chrysotile, 1.5%
8. Condition: Good with potential for damage
9. Accessibility: Low
10. Recommended Action: Maintain on Asbestos O&M Plan

FIELD NOTES AND OBSERVATIONS

The 12x12 in floor tile appears to be in good condition and well maintained. Some partially damaged tiles in Classroom 4.

PREVENTATIVE MEASURES

Floor tile must be maintained by regular cleaning and waxing. Stripping old wax shall be conducted by utilizing a generous quantity of sudsy H₂O. Use ample quantity of wax and apply with a buffer not exceeding 300 rpm when re-waxing floors. Furniture or equipment shall be moved across asbestos containing floor tile only by the use of dollies or portable trucks and then only if the floor has been protected with rubber mats or other effective protective covering. Sanding, grinding, cutting or abrading asbestos containing floor tile is prohibited. Under no circumstances shall carpet with asbestos containing floor tile under it be lifted or removed or the floor tile removed except by EPA accredited/DSHS licensed asbestos workers supervised by an EPA accredited/DSHS licensed supervisor.



Mark D. Freemyer

8/13/2021

Date

#105695

Texas DSHS License #



TEXAS DEPARTMENT OF LICENSING & REGULATION

P.O. Box 12157 • Austin, Texas 78711-2157
www.tdlr.texas.gov

ELEVATOR / ESCALATOR AND RELATED EQUIPMENT REPORT OF INSPECTION

THIS FORM MUST BE FILLED OUT COMPLETELY AND SUBMITTED WITH ATTACHMENTS IF NECESSARY.

INSPECTION DATA – TO BE COMPLETED BY INSPECTOR

FILING FEE: \$20.00 PER UNIT

1. Unit #: _____ of _____	2. ELBI #: _____	3. Decal #: _____	4. Removed from Service Date: _____		
5. Building Name: _____			Building Designation: _____	6. Manufacturer: _____	
Building Physical Address: _____			7. Model Type: _____		
Street Number, Street, Suite No./Apt. No., City, State, Zip Code			8. Serial #: _____		
9. Type of Unit: (select one) Pass Esc. M.W. W.L. LULA Frt Elev Other (specify): _____					
10. Drive Machine: (select one) Electric Hydraulic Other (specify): _____			11. Year Installed: _____	12. Year Altered: _____	13. Number of Floors: _____
14. Speed: _____	15. Capacity: _____	16. # of Car Openings _____		17. Due Date for Next 5 Year Safety Test _____	
18. Test Data Tag in Place? Yes No Comments: _____					
19. Type of Inspection: (select all that apply) A – Annual B – New Installation or Returned to Service C – Alteration F – 5 Year Test Other: _____					
20. #	Rule	Code Year	Violations Use page ELE002a if additional pages are necessary	Check box if ELE002a is attached	Repeat

21. INSPECTOR SIGNATURE IS REQUIRED FOR CERTIFICATE PROCESSING

I certify this is a true report of my inspection. I further certify that the information on this report is correct.

TDLR INSP LIC#: _____ Inspector Name Printed _____ Inspector Signature _____ Date Inspection Completed _____

22. CONTACT INFORMATION REQUIRED TO BE COMPLETED BY OWNER OR OWNER AGENT

Phone Number: _____

Owner Name: _____
(Area Code) Phone Number _____

Email Address: _____ Owner Mailing Address: _____
(ex: johndoe@yourbusinessemail.com) Number, Street, Suite No, Apt No. City State Zip Code

23. Building Contact Name: _____ Contact Phone Number: _____
(Area Code) Phone Number _____

Building Contact Business/Public Email Address: _____ Building Contact Mailing Address: _____
(ex: johndoe@youbusinessemail.com) Number, Street, Suite No, Apt No. City State Zip Code

24. OWNER OR OWNER AGENT SIGNATURE IS REQUIRED FOR CERTIFICATE PROCESSING

I certify that all violations cited by the inspector (if any) have been corrected OR are under contract to be corrected OR I have obtained a waiver or delay. All contact information above is accurate and all required documents and fees are attached. I understand that a certificate of compliance cannot be issued if the Inspection Report is incomplete, or any supporting documentation is missing.

Owner/Agent Printed Name _____ Owner/Agent Signature _____ Date _____

All correspondence including legal notices will be sent to (select one) Owner Address Building Contact Address

INSTRUCTIONS

MONTHLY TESTING OF FIREFIGHTER EMERGENCY OPERATION, WITH RECORDED FINDINGS, REQUIRED BY ASME A17.1.8.6.11.1 (2007).

PHASE I HALL FIREFIGHTER EMERGENCY RECALL.

PHASE II EMERGENCY IN CAR OPERATION.

EMERGENCY SIGNALING DEVICES, INCLUDING AN AUDIBLE ALARM AND TWO WAY COMMUNICATION (PHONE) IN THE CAR.

(NOTE) Monthly testing of emergency signaling devices is not required by code, but is recommended.

- (1) TURN THE PHASE I HALL KEY SWITCH, LOCATED AT THE DESIGNATED LEVEL TO THE (ON) POSITION, THE ELEVATOR(S) SHOULD RECALL TO THAT LEVEL AND OPEN THEIR DOORS.
- (2) TEST EACH CAR ON PHASE II EMERGENCY IN CAR OPERATION; AS FOLLOWS.
 - (A) TURN THE PHASE II KEY SWITCH TO THE (HOLD) POSITION AND PUSH THE DOOR CLOSE BUTTON. THE DOOR SHOULD NOT CLOSE.
 - (B) TURN THE PHASE II KEY SWITCH TO THE (ON) POSITION AND PUSH THE DOOR CLOSE BUTTON. THE DOOR SHOULD CLOSE. WHEN THE DOOR IS FULLY CLOSED; SET SEVERAL CALLS. THE CAR SHOULD START TO TRAVEL; QUICKLY PUSH THE CALL CANCEL BUTTON, THE CALLS SHOULD EXTINGUISH. THE CAR SHOULD STOP AT THE NEXT AVAILABLE LEVEL. THE DOOR SHOULD NOT OPEN.

(NOTE) PHASE II OPERATION MUST OVERRIDE ANY CAR CALL SECURITY SYSTEMS. ie. card reader, keys, or touch pads etc.
 - (C) PUSH THE DOOR OPEN BUTTON, THE DOOR SHOULD START TO OPEN; QUICKLY RELEASE THE DOOR OPEN BUTTON, THE DOOR SHOULD RECLOSE WITH NO DELAY.

(NOTE) THE RECLOSE FEATURE PROTECTS EMERGENCY PERSONNEL IF FIRE IS PRESENT IN THE HALLWAY.
 - (D) PUSH AND HOLD THE DOOR OPEN BUTTON UNTIL THE DOOR IS FULLY OPEN.
 - (E) TURN THE PHASE II KEY SWITCH TO THE (OFF) POSITION THE DOOR SHOULD CLOSE AUTOMATICALLY AND THE CAR SHOULD RECALL TO THE DESIGNATED LEVEL, AND OPEN ITS DOORS.

(NOTE) WHILE THE DOOR IS CLOSING AUTOMATICALLY THE SMOKE SENSITIVE DOOR REOPENING DEVICES MUST BE OUT OF SERVICE, WITH REDUCED DOOR CLOSING FORCE.
- (3) WHEN ALL CARS HAVE BEEN TESTED ON PHASE II IN CAR OPERATION AND ARE BACK AT THE DESIGNATED LEVEL WITH THEIR DOORS OPEN; TURN THE PHASE I HALL KEY SWITCH TO THE BYPASS/RESET POSITION ALLOW THREE SECONDS, THEN TURN THE KEY SWITCH TO THE (OFF) POSITION, REMOVE KEY.
- (4) CHECK ALL CARS FOR NORMAL OPERATION, RECORD THE TEST FINDINGS, REPORT ANY DEFICIENCIES TO THE BUILDING MANAGER.

(NOTE) FOR DETAILS OF EMERGENCY OPERATIONS AND SIGNAL DEVICES SEE ASME A17.1 SECTION 2.27

TESTS ARE NOW COMPLETED



TEXAS DEPARTMENT OF LICENSING AND REGULATION

Elevator Program

P. O. Box 12157 • Austin, Texas 78711 • (512) 463-6599 • (800) 803-9202
(512) 475-2871 • Email: CS.Elevators.Escalators@tdlr.texas.gov • Web site: www.tdlr.texas.gov

Instructions for Obtaining an Elevator/Escalator Certificate of Compliance

The Texas Health and Safety Code, Chapter 754, requires building owners to hire a registered elevator inspector (a list is available [on our website](#)) to conduct an annual safety inspection on all elevators, escalators and related equipment. Per Elevator Safety and Licensing Administrative Rule, §74.50, the owner must submit all required documentation to the department within 30 days of the equipment inspection date.

*****Penalties of up to \$5,000 may be assessed for each violation of this law and rule.*****

Building Owner Responsibility: The building owner is responsible for submitting the following documentation and fees annually, within 30 days of the date of inspection.

1. The owner, or owner's agent, will obtain the original Elevator Equipment Report of Inspection form from the inspector, for each elevator, escalator or piece of related equipment.
2. The owner must complete the owner and contact person information on the front of the Report of Inspection form.
3. The inspector will fill out the Violation Code and Description sections, and the Equipment Specifications section.
4. The owner and inspector both must sign and date the inspection form to acknowledge the inspection was conducted and any violations have been corrected or are under an active and legitimate contract to be corrected, prior to the next inspection.
5. The completed Elevator Equipment Report of Inspection Form(s) and **total** amount of all fees owed must be made payable by check or money order to Texas Department of Licensing and Regulation. The owner must pay a fee of \$20 for **each** piece of equipment inspected.
6. **Late Filing:** If an inspection report is filed 60 days after the date of inspection, each piece of equipment will be assessed a late fee of \$10 for every 30 day period

Repeat Violations: If any violations are marked as "REPEAT VIOLATION", they must **immediately** be corrected and the corrections must be verified by the inspector. The inspector must submit verification in writing to TDLR in order for the owner to obtain a certificate of compliance.

Waiver and Delay Consideration and Information: For Waiver and Delay consideration and information, go to the Elevator or Escalator Delay and Waiver Form at: <http://www.tdlr.texas.gov/elevator/ele012.pdf>

*****Mail all required documents and fees to the Texas Department of Licensing and Regulation, P.O. Box 12157, Austin, TX 78711. For overnight or walk-in, use physical address of 920 Colorado Street, Austin, TX 78701.**



PLUMBING CAMERA WORK

Commercial.

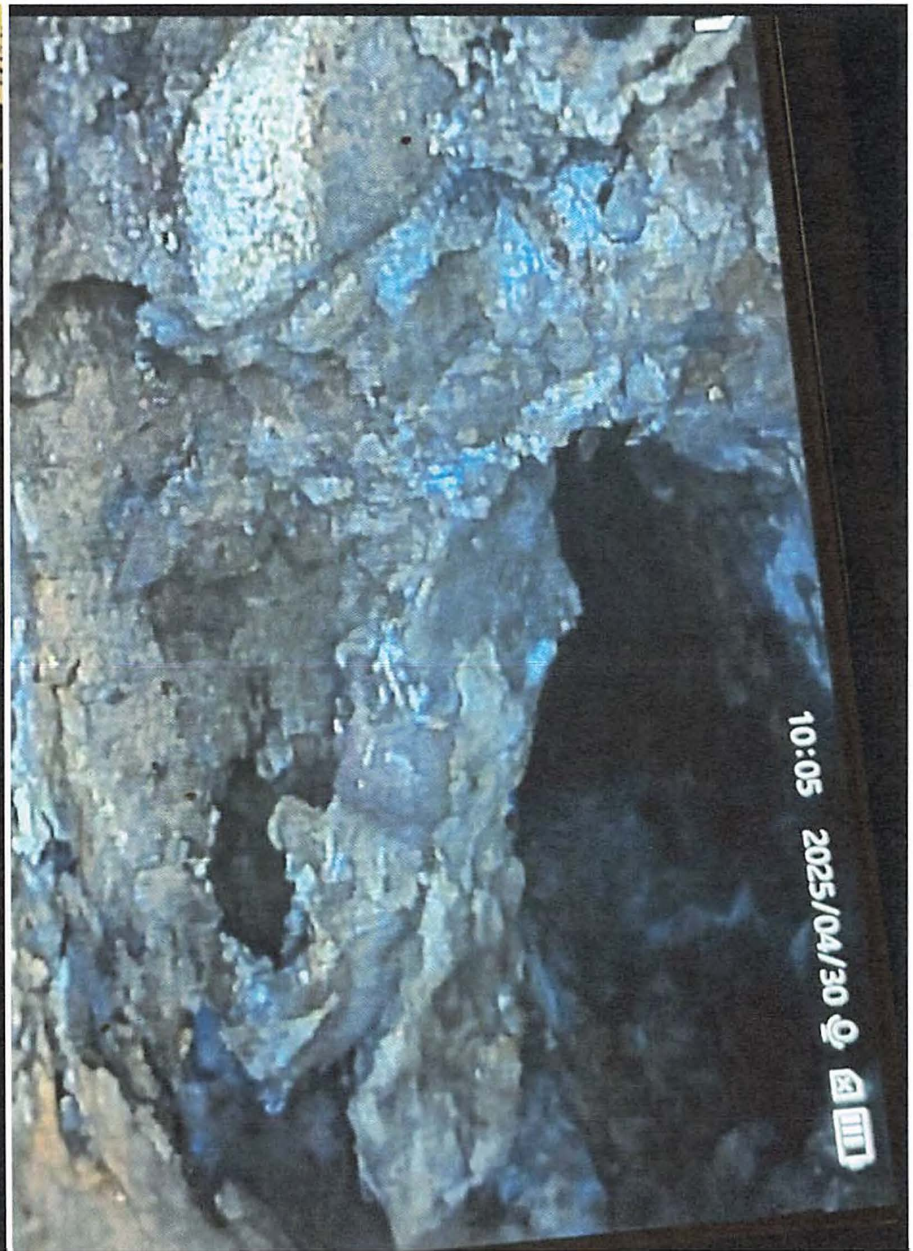
Ran the camera through a total of five outside clean outs and a total of three separated, cast-iron lines inside of a hatchway in the main building. And was able to get under the old cafeteria and the building to the west of the gym. The building to the west of the gym has back fall on some of the sewer lines and has pressure fittings and some of them as well. When we ran the camera through one clean out outside on the west side of the gym, it is an old clay pipe, and the line has multiple brakes and rocks and mud and is unable to go more than 10 to 15 foot either direction.

The four cleanouts on the main building in the courtyard the pipes are holding water and has rocks and other debris in them. and one line we were able to go approximately 20 foot but could not go any further due to roots in the line.

The Ground floor of the main building I recommend pulling multiple toilets in different locations and running the camera through them to inspect the sewer line under the building itself since we could not get anything to go from the cleanouts in the courtyard under the building.

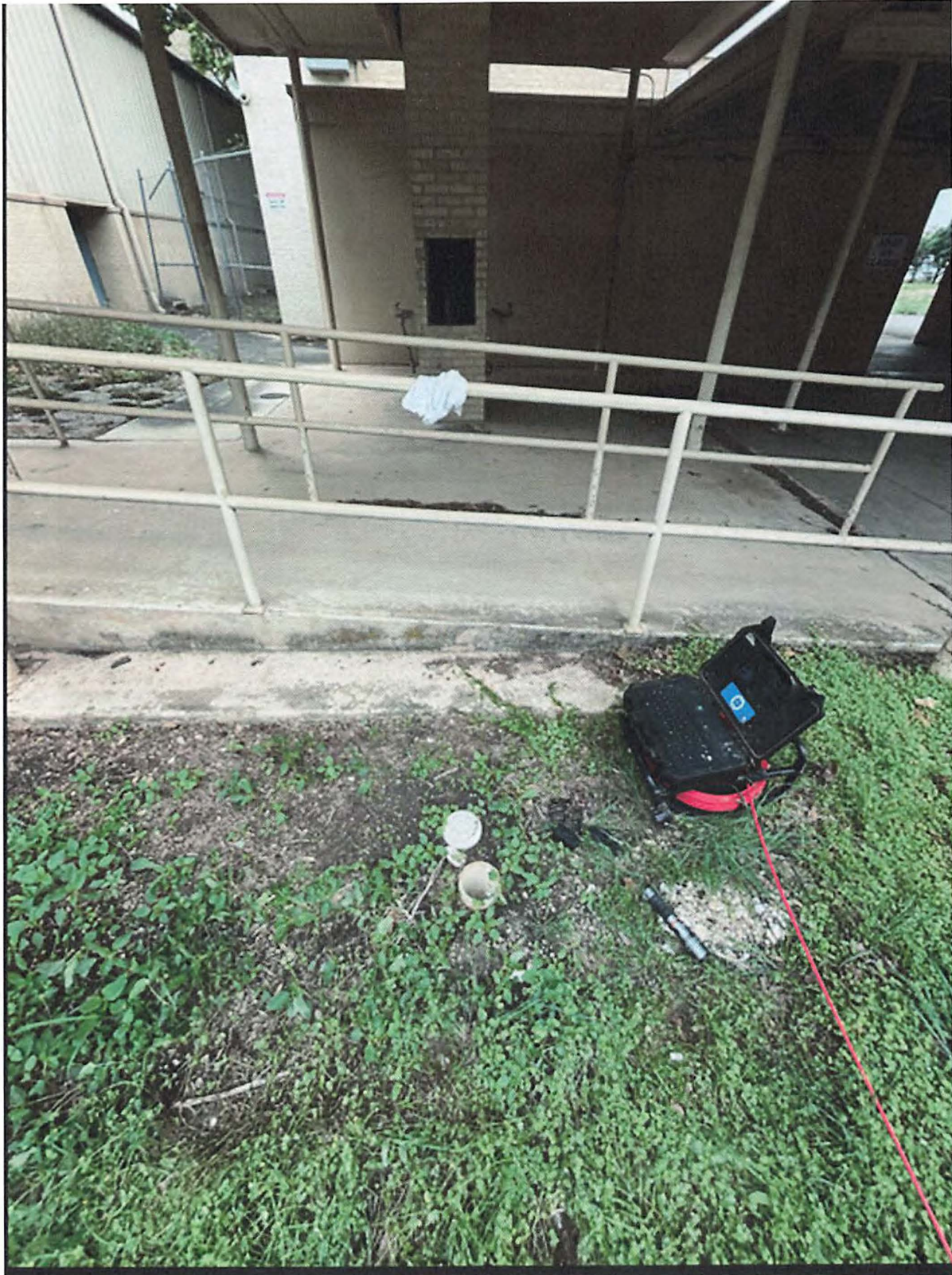
(note)

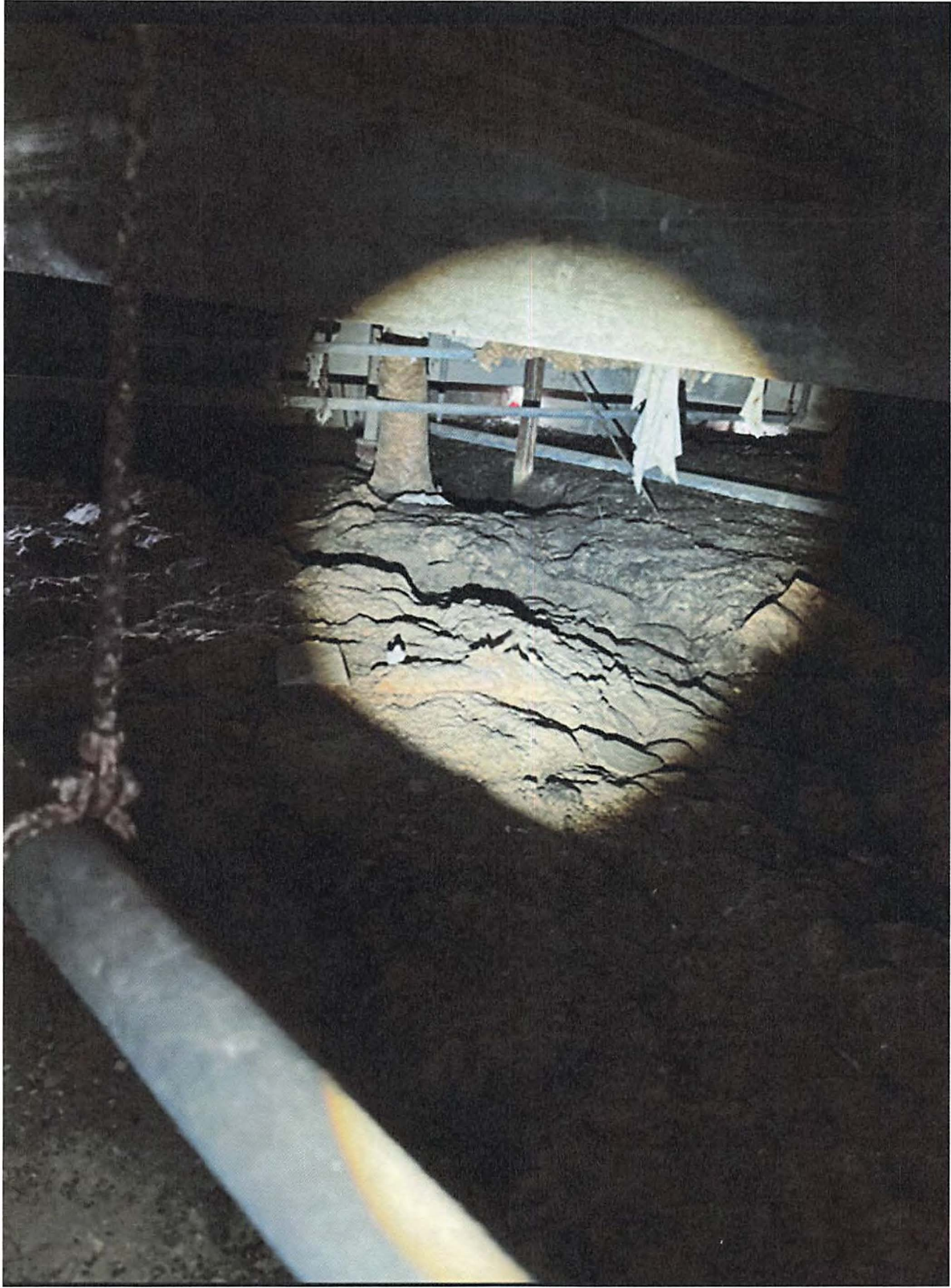
Need to verify where the city tap for the sewer is located.





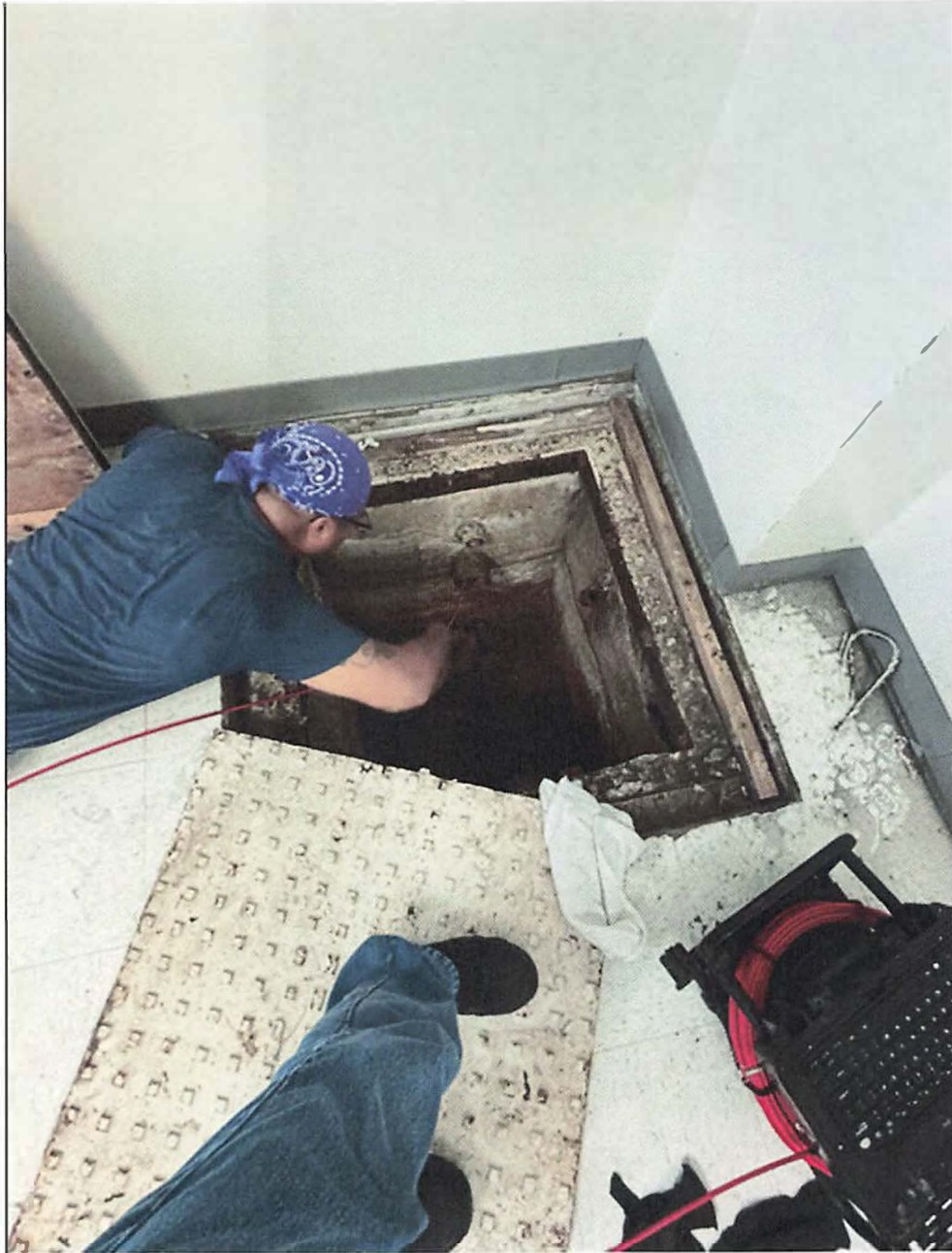


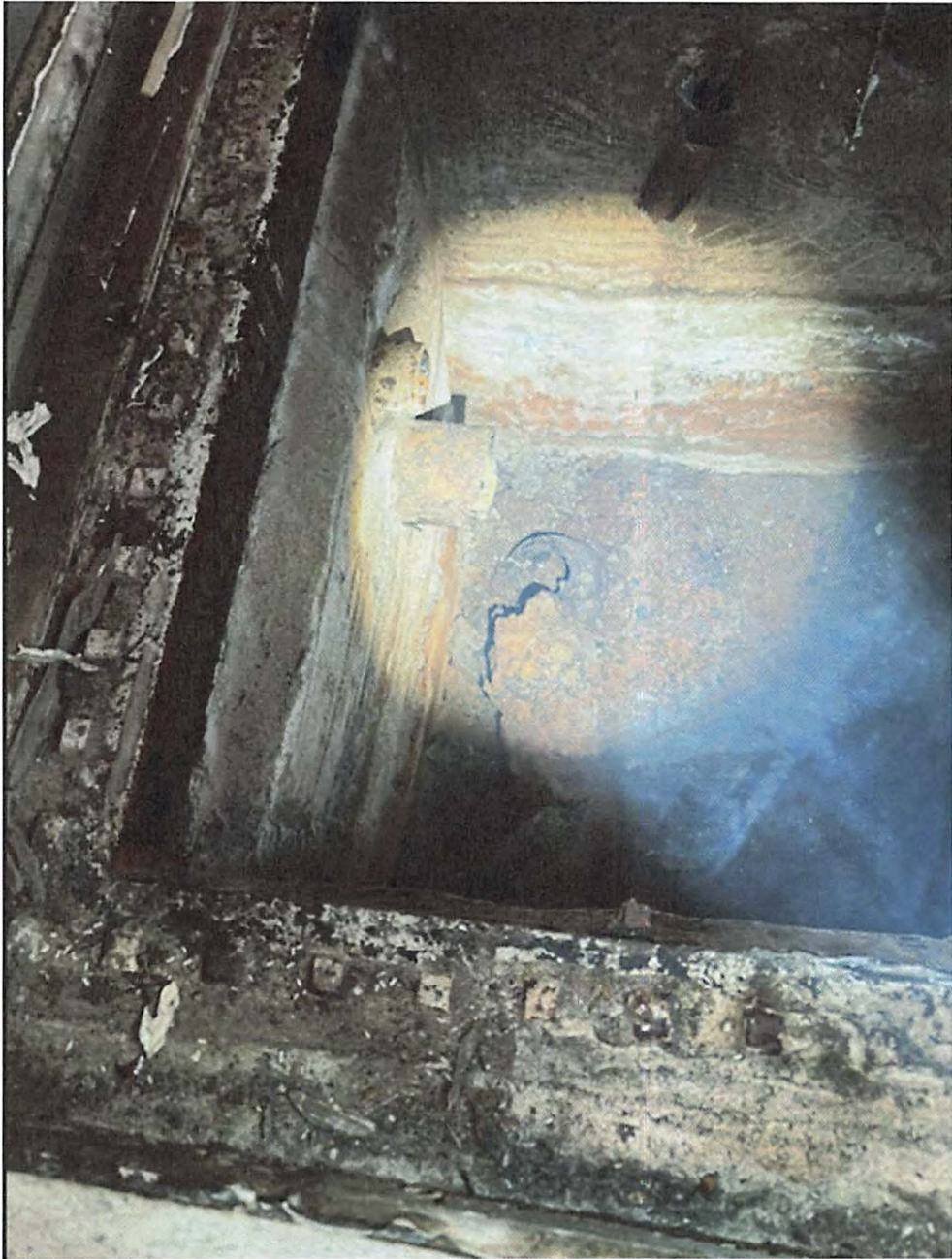














ADDENDUM

Sec. 6.051. OWNERSHIP OR LEASE OF REAL PROPERTY.

(b) The acquisition or conveyance of real property or the construction or renovation of a building or other improvement by an appraisal district must be approved by the governing bodies of three-fourths of the taxing units entitled to vote on the appointment of board members. The board of directors by resolution may propose a property transaction or other action for which this subsection requires approval of the taxing units. The chief appraiser shall notify the presiding officer of each governing body entitled to vote on the approval of the proposal by delivering a copy of the board's resolution, together with information showing the costs of other available alternatives to the proposal. On or before the 30th day after the date the presiding officer receives notice of the proposal, the governing body of a taxing unit by resolution may approve or disapprove the proposal. If a governing body fails to act on or before that 30th day or fails to file its resolution with the chief appraiser on or before the 10th day after that 30th day, the proposal is treated as if it were disapproved by the governing body.

Guadalupe Appraisal District Expansion Options Comparisons

December 11, 2024

Opinion of Probable Project Cost

SINGLE STORY 8,000 SF ADDITION

to Existing Facility Including 30 Additional Parking Stalls

Construction Cost	\$3,690,600
Contingencies 15%	\$ 553,590
“Soft” Costs 25%	<u>\$ 992,650</u>
	\$5,166,840

Land purchase cost not included. One to two additional acres are needed.

Inflation to bid date is not included (bid date unknown).

On site storm water detention will likely be required.

Fire lane turn around or second vehicle egress will be required.

Materials and systems assumed to be same as current facility.

TWO STORY 8,960 SF ADDITION

to Existing Facility Including 30 Additional Parking Stalls, 2ND Floor Shell Space

Construction Cost	\$3,580,827
Contingencies 15%	\$ 537,124
“Soft” Costs 25%	<u>\$ 895,207</u>
	\$5,013,158

Square footage increased to account for elevator and 2 stairs.

Second floor not finished out initially. No a/c, no plumbing, limited electrical.

Land purchase cost not included. At least one additional acre is needed.

Inflation to bid date is not included (bid date unknown).

On site storm water detention will likely be required.

Fire lane turn around or second vehicle egress will be required.

Materials and systems assumed to be same as current facility.

RENOVATION OF COLLEGE STREET BUILDING – 3 STORY BUILDING 21,900 SF

HVAC and lighting replacement, restroom upgrades, new service counter, IT and security upgrade, repave basketball court for parking

Construction Cost	\$2,539,712
Contingencies 15%	\$ 380,957
“Soft” Costs 25%	<u>\$ 634,928</u>
	\$3,555,597

Building purchase cost not included.

Inflation to bid date not included (bid date unknown).

Roofing, fire sprinkler, plumbing and electrical systems require no renovations.

Renovation of College Street Annex Building, Old Band Hall, Gymnasium and Cafeteria could be postponed to a later date.

RENOVATION OF COLLEGE STREET BUILDING – CLASSROOM ANNEX AND OLD BAND HALL 5,290 SF

HVAC and lighting replacement, roofing replacement, IT and security, general painting and interior finish upgrades

Construction Cost	\$ 732,346
Contingencies 15%	\$ 109,852
“Soft” Costs 25%	<u>\$ 183,086</u>
	\$1,025,284

RENOVATION OF COLLEGE STREET BUILDING – GYMNASIUM AND CAFETERIA, 8,600 SF

HVAC and lighting replacement, roofing replacement, IT and security, general painting and interior finish upgrades

Construction Cost	\$1,069,152
Contingencies 15%	\$ 160,373
“Soft” Costs 25%	<u>\$ 287,288</u>
	\$1,496,813



DEBRA J. DOCKERY, ARCHITECT, P.C.
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 San Antonio, Texas 78205
 tel: (210) 225-6130

GUADALUPE APPRAISAL DISTRICT EXPANSION OPTIONS
 DECEMBER 3, 2024
 OPINION OF PROBABLE CONSTRUCTION COST - 8,000 SF SINGLE STORY ADDITION AND 30 PARKING SPACES

REFERENCE	QUANTITY	UNIT COST	DIVISION COST
DIVISION 1 GENERAL REQUIREMENTS	PERCENT OF SUB TOTAL	12%	\$ 375,600
DIVISION 2 EXISTING CONDITIONS	8,000 SF	\$ 2	\$ 12,000
DIVISION 3 CONCRETE	8,000 SF	\$ 30	\$ 240,000
DIVISION 4 MASONRY	8,000 SF	\$ -	\$ -
DIVISION 5 METALS	8,000 SF	\$ 20	\$ 160,000
DIVISION 6 WOODS, PLASTICS AND COMPOSITES	8,000 SF	\$ 18	\$ 144,000
DIVISION 7 THERMAL AND MOISTURE PROTECTION	8,000 SF	\$ 42	\$ 336,000
DIVISION 8 OPENINGS	8,000 SF	\$ 25	\$ 200,000
DIVISION 9 FINISHES	8,000 SF	\$ 40	\$ 320,000
DIVISION 10 SPECIALTIES	8,000 SF	\$ 4	\$ 32,000
DIVISION 11 EQUIPMENT	8,000 SF	\$ 2	\$ 16,000
DIVISION 12 FURNISHINGS	8,000 SF	\$ 1	\$ 8,000
DIVISION 13 SPECIAL CONSTRUCTION	8,000 SF	\$ 15	\$ 120,000
DIVISION 22 FIRE SPRINKLER SYSTEM	8,000 SF	\$ 6	\$ 48,000
DIVISION 22 PLUMBING	8,000 SF	\$ 28	\$ 224,000
DIVISION 23 HEATING, VENTILATION AND A/C	8,000 SF	\$ 35	\$ 280,000
DIVISION 26 ELECTRICAL	8,000 SF	\$ 60	\$ 480,000
DIVISION 28 FIRE ALARM	8,000 SF	\$ 5	\$ 40,000
DIVISION 31 EARTHWORK	1 LS	\$ 150,000	\$ 150,000
DIVISION 32 EXTERIOR IMPROVEMENTS CIVIL	1 LS	\$ 270,000	\$ 270,000
DIVISION 32 EXTERIOR IMPROVEMENTS LANDSCAPE	1 LS	\$ 75,000	\$ 75,000
ADDITIONAL SITE IMPROVEMENTS ROADWAY	1 LS	\$ 110,000	\$ 110,000
DIVISION 33 UTILITIES	1 LS	\$ 50,000	\$ 50,000
ROUGH ORDER OF MAGNITUDE CONSTRUCTION OPINION OF PROBABLE COST			\$ 3,690,600
CONTINGENCIES - 15%			\$ 553,590
"SOFT" COSTS, DESIGN FEES, MATERIALS TESTING, PERMITS -25%			\$ 922,650
TOTAL OPINION OF PROJECT COST NOT INCLUDING LAND COST OR INFLATION			\$ 5,166,840

NOTES:

LAND PURCHASE COST NOT INCLUDED. ONE TO TWO ADDITIONAL ACRES ARE NEEDED
 INFLATION TO BID DATE IS NOT INCLUDED (BID DATE UNKNOWN)
 ON SITE STORM WATER DETENTION WILL LIKELY BE REQUIRED
 FIRE LANE TURN AROUND OR SECOND VEHICLE EGRESS WILL BE REQUIRED
 MATERIALS AND SYSTEMS ASSUMED TO BE SAME AS CURRENT FACILITY - PRE ENGINEERED METAL BUILDING,
 EXTERIOR METAL WALL PANEL AND ROOFING, STANDARD OFFICE INTERIOR FINISH-OUT





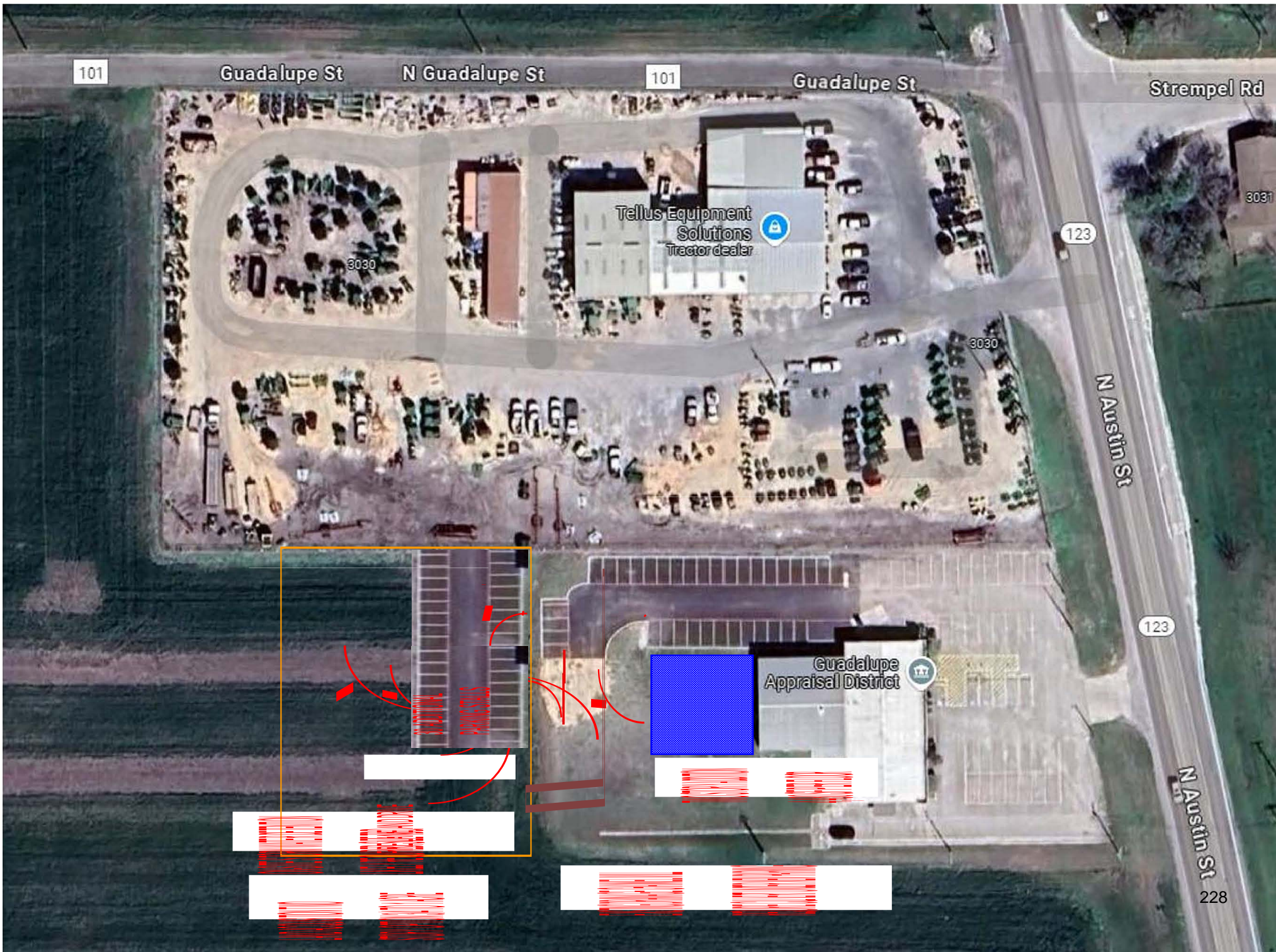
DEBRA J. DOCKERY, ARCHITECT, P.C.
 118 Broadway, Suite 516
 San Antonio, Texas 78205
 tel: (210) 225-6130

GUADALUPE APPRAISAL DISTRICT EXPANSION OPTIONS
DECEMBER 3, 2024
OPINION OF PROBABLE CONSTRUCTION COST - 8,960 TOTAL SF TWO STORY ADDITION (4,480 SF PER FLOOR) AND 30 PARKING SPACES, FUTURE FINISH OUT OF 2ND STORY

REFERENCE	QUANTITY	UNIT COST	DIVISION COST
DIVISION 1 GENERAL REQUIREMENTS	PERCENT OF SUB TOTAL	12%	\$ 343,267
DIVISION 2 EXISTING CONDITIONS	4,480 SF	\$ 2	\$ 6,720
DIVISION 3 CONCRETE	4,480 SF	\$ 42	\$ 188,160
DIVISION 4 MASONRY	- SF	\$ -	\$ -
DIVISION 5 METALS	8,480 SF	\$ 45	\$ 381,600
DIVISION 6 WOODS, PLASTICS AND COMPOSITES	4,480 SF	\$ 20	\$ 89,600
DIVISION 7 THERMAL AND MOISTURE PROTECTION	8,480 SF	\$ 53	\$ 449,440
DIVISION 8 OPENINGS	4,480 SF	\$ 25	\$ 112,000
DIVISION 9 FINISHES	4,480 SF	\$ 40	\$ 179,200
DIVISION 10 SPECIALTIES	4,480 SF	\$ 6	\$ 26,880
DIVISION 11 EQUIPMENT	4,480 SF	\$ 4	\$ 17,920
DIVISION 12 FURNISHINGS	4,480 SF	\$ 2	\$ 8,960
DIVISION 13 SPECIAL CONSTRUCTION	4,480 SF	\$ 20	\$ 89,600
DIVISION 14 CONVEYING SYSTEMS	8,480 SF	\$ 25	\$ 212,000
DIVISION 22 FIRE SPRINKLER SYSTEM	8,480 SF	\$ 6	\$ 50,880
DIVISION 22 PLUMBING	8,480 SF	\$ 30	\$ 254,400
DIVISION 23 HEATING, VENTILATION AND A/C	4,480 SF	\$ 40	\$ 179,200
DIVISION 26 ELECTRICAL	4,480 SF	\$ 70	\$ 313,600
DIVISION 28 FIRE ALARM	4,480 SF	\$ 5	\$ 22,400
DIVISION 31 EARTHWORK	1 LS	\$ 140,000	\$ 140,000
DIVISION 32 EXTERIOR IMPROVEMENTS CIVIL	1 LS	\$ 300,000	\$ 300,000
DIVISION 32 EXTERIOR IMPROVEMENTS LANDSCAPE	1 LS	\$ 75,000	\$ 75,000
ADDITIONAL SITE IMPROVEMENTS ROADWAY	1 LS	\$ 90,000	\$ 90,000
DIVISION 33 UTILITIES	1 LS	\$ 50,000	\$ 50,000
ROUGH ORDER OF MADNITUDE CONSTRUCTION OPINION OF PROBABLE COST			\$ 3,580,827
CONTINGENCIES - 15%			\$ 537,124
"SOFT" COSTS, DESIGN FEES, MATERIALS TESTING, PERMITS -25%			\$ 895,207
TOTAL OPINION OF PROJECT COST NOT INCLUDIING LAND COST OR INFLATION			\$ 5,013,158

NOTES:

SQUARE FOOTAGE INCREASED TO ACCOUNT FOR ELEVATOR AND 2 STAIRS
 LAND PURCHASE COST NOT INCLUDED - AT LEAST ONE ADDITIONAL ACRE NEEDED
 INFLATION TO BID DATE NOT IKCLUDED (BID DATE UNKNOWN)
 SECOND FLOOR NOT FINISHED OUT AT THIS TIME. NO A/C. LIMITED ELECTRICAL, NO PLUMBING.
 ON-SITE STORM WATER DETENTION WILL LIKELY BE REQUIRED
 FIRE LANE TURN AROUND OR SECOND VEHICLE EGRESS WILL BE REQUIRED
 MATERIALS AND SYSTEMS ASSUMED TO BE SAME AS CURRENT FACILITY - PRE ENGINEERED METAL BUILDING,
 EXTERIOR METAL WALL PANEL AND ROOFING, STANDARD OFFICE INTERIOR FINISH-OUT





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 tel: (210) 225-6130

GUADALUPE APPRAISAL DISTRICT EXPANSION OPTIONS
 DECEMBER 3, 2024

OPINION OF PROBABLE CONSTRUCTION COST - **RENOVATION OF COLLEGE STREET BUILDING**

REFERENCE	QUANTITY	UNIT COST	DIVISION COST
THREE STORY MAIN BUILDING			
GENERAL REQUIREMENTS	PERCENT OF SUB TOTAL	12%	\$ 272,112
HVAC REPLACEMENT / REUSE SOME DUCTWORK	21,900 SF	\$ 24	\$ 525,600
LIGHTING REPLACEMENT	21,900 SF	\$ 25	\$ 547,500
CEILING REPLACEMENT	21,900 SF	\$ 4	\$ 87,600
ADD RESTROOMS TO SECOND FLOOR	2 EA	\$ 75,000	\$ 150,000
RENOVATE RESTROOMS ON FIRST & THIRD FLOORS	4 EA	\$ 20,000	\$ 80,000
NEW SERVICE COUNTER / PUBLIC LOBBY	1,500 SF	\$ 150	\$ 225,000
TELECOMMUNICATIONS AND SECURITY	21,900 SF	\$ 6	\$ 131,400
GENERAL PAINTING AND MODEST RENOVATIONS	21,900 SF	\$ 10	\$ 219,000
REPAVE BASKETBALL COURT FOR PARKING	13,500 SF	\$ 9	\$ 121,500
ADD PAVING AT BASKETBALL COURT FOR PARKING	9,000 SF	\$ 20	\$ 180,000
ROUGH ORDER OF MAGNITUDE CONSTRUCTION OPINION OF PROBABLE COST			\$ 2,539,712
CONTINGENCIES = 15%			\$ 380,957
"SOFT" COSTS, DESIGN FEES, MATERIALS TESTING, PERMITS -25%			\$ 634,928
TOTAL OPINION OF PROBABLE COST NOT INCLUDING BUILDING PURCHASE OR INFLATION			\$ 3,555,597

NOTES:

BUILDING PURCHASE NOT INCLUDED

INFLATION TO BID DATE NOT INCLUDED (BID DATE UNKNOWN)

ASSUMPTIONS: ROOFING, FIRE SPRINKLER, PLUMBING SYSTEMS AND ELECTRICAL SERVICES REQUIRE NO RENOVATIONS

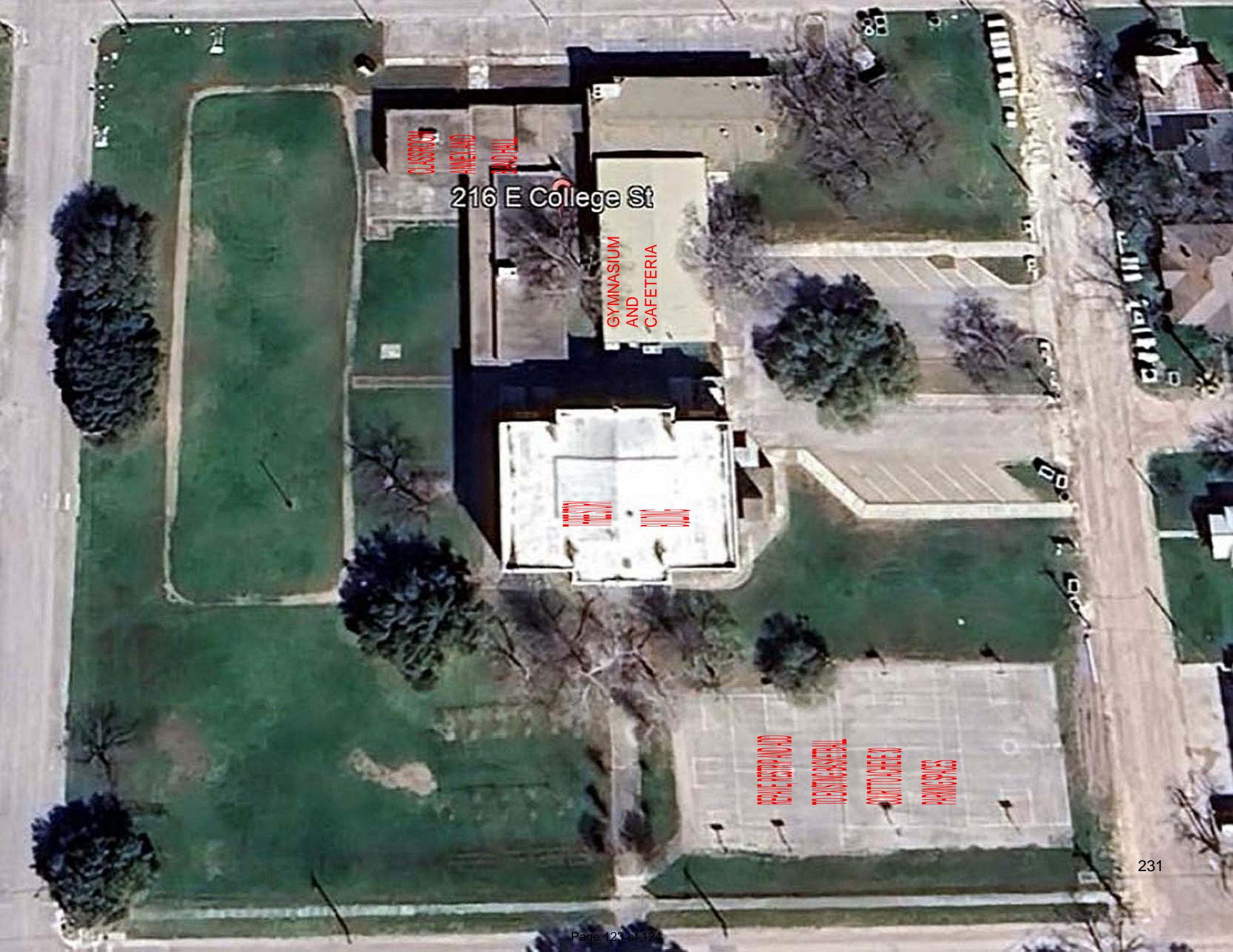
REPAVING AND ADDING TO BASKETBALL COURT TO ACHIEVE 30 ADDITIONAL PARKING SPACES

(APPROXIMATE EXISTING PARKING - 24 ON MILAM STREET, 19 ON KREZDORN STREET)

REFERENCE	QUANTITY	UNIT COST	DIVISION COST
SINGLE STORY CLASSROOM ANNEX AND OLD BAND HALL			
GENERAL REQUIREMENTS	PERCENT OF SUB TOTAL	12%	\$ 78,466
HVAC REPLACEMENT	5,290 SF	\$ 28	\$ 148,120
LIGHTING REPLACEMENT	5,290 SF	\$ 30	\$ 158,700
CEILING REPLACEMENT	5,290 SF	\$ 4	\$ 21,160
REPLACE ROOFING	5,290 EA	\$ 32	\$ 169,280
SCREEN OUTDOOR WALKWAY	100 LF	\$ 85	\$ 8,500
GENERAL PAINTING AND MINOR RENOVATIONS	5,290 SF	\$ 20	\$ 105,800
TELECOMMUNICATIONS AND SECURITY	5,290 SF	\$ 8	\$ 42,320
ROUGH ORDER OF MAGNITUDE CONSTRUCTION OPINION OF PROBABLE COST			\$ 732,346
CONTINGENCIES = 15%			\$ 109,852
"SOFT" COSTS, DESIGN FEES, MATERIALS TESTING, PERMITS -25%			\$ 183,086
TOTAL OPINION OF PROBABLE COST NOT INCLUDING BUILDING PURCHASE OR INFLATION			\$ 1,025,284

REFERENCE	QUANTITY	UNIT COST	DIVISION COST
GYMNASIUM AND CAFETERIA			
GENERAL REQUIREMENTS	PERCENT OF SUB TOTAL	12%	\$ 114,552
HVAC REPLACEMENT / REUSE SOME DUCTWORK	8,600 SF	\$ 28	\$ 240,800
LIGHTING REPLACEMENT	8,600 SF	\$ 30	\$ 258,000
ROOFING REPAIRS - ELASTOMERIC COATING	8,600 EA	\$ 25	\$ 215,000
GENERAL PAINTING AND MINOR RENOVATIONS	8,600 SF	\$ 20	\$ 172,000
TELECOMMUNICATIONS AND SECURITY	8,600 SF	\$ 8	\$ 68,800
ROUGH ORDER OF MAGNITUDE CONSTRUCTION OPINION OF PROBABLE COST			\$ 1,069,152
CONTINGENCIES = 15%			\$ 160,373
"SOFT" COSTS, DESIGN FEES, MATERIALS TESTING, PERMITS -25%			\$ 267,288
TOTAL OPINION OF PROBABLE COST NOT INCLUDING BUILDING PURCHASE OR INFLATION			\$ 1,496,813

TOTAL ALL CAMPUS \$ 6,077,693



216 E College St

CLASSROOM
ANNEX AND
BAND HALL

GYMNASIUM
AND
CAFETERIA

RECREATION
AND
TOURNAMENT
FACILITY

RECREATION AND
TOURNAMENT FACILITY
PARKING LOTS

Comparison of Facility Projects

Provided below is a summary of three options developed by GAD leadership, to address spacing planning needs of organization, for consideration by GAD Board of Directors.

Note: Preliminary discussions have been taken with property owners on acquisition of real property to facilitate project options. Market value of land to be acquired for options 1 & 2 was estimated at \$5.00 psf based on knowledge of market conditions. Until a contract for purchase is executed for an agreed to amount, purchase amounts are preliminary estimates only used for purpose of consideration by BOD members.

Project Option 1: 8,000 sqft single story addition to existing facility with 30 parking spaces.

Project Option 2: 8,960 Total sqft Two Story addition to existing facility (4,480 sqft per floor) with 30 parking spaces; future finish out of 2nd Floor.

Project Option 3: Renovation of College Street Building (Three Story Main Bldg). Secondary renovation costs of auxiliary building provided in itemized projected costs for reference purposes.

Project Cost Summaries

	Project Option 1	Project Option 2	Project Option 3
Total Opinion of Project Cost (Excl. Land Acquisition)	\$5,166,840	\$5,013,158	\$3,555,597
per SF	\$645.86	\$559.50	\$162.36
Est. Land Acquisition Cost/ Price	1.75 - 2.00 acres \$435,600	0.75 - 1.00 acres \$217,800	\$0
Est. Acquisition Cost/ Price Improved Property	\$0	\$0	216 E. College St \$1,495,000
Grand Totals of Project:	\$5,602,440	\$5,230,958	*3 acres \$5,050,597 **4acres \$5,450,597
			Sale Proceeds: (\$1,100,000)
			\$3,950,597
			Net Grand Total of Project Option: \$4,350,597
Estimated Annual Utility Costs:	\$30,000	\$24,000	\$51,000

ACTION ITEM:

Request for Waivers

RECOMMENDATION:

The Board of Trustees approves that Seguin ISD apply for a Low Attendance Waiver for May 5, 2025.

RATIONALE:

On May 5, 2025, Seguin ISD schools experienced power failures throughout the day, which negatively impacted school operations as well as attendance percentages. Numerous parents within our community kept their children at home or picked up their students as a result of the power outages. The district as a whole does not qualify for a waiver. The specific campuses listed below did meet the requirements for the waiver.

District attendance comparison:

District	2023-2024 School Year 91.55%	May 5, 2025 85.81%
AJ Briesmeister	2023-2024 School Year: 91.34%	May 5, 2025 67.36%
DAEP	2023-2024 School Year 82.42%	May 5, 2025 70.22%

REFERENCE and COMPLIANCE:

EB (LEGAL), School Year

BUDGET IMPACT:

The removal of one day from year-end average daily attendance calculation by TEA.

EXHIBITS:

None

RESOURCE PERSONNEL:

Dr. Ruben Carrillo, Chief of Technology and Security

Submitted by:

(Name) Dr. Veronica Vijil, Superintendent
 (Address) 1221 E. Kingsbury St., Seguin, TX 78155
 (Telephone) (830) 401-8614
 (Date) 05/20/25

Minutes of Special Meeting

The Board of Trustees

Seguin ISD

A Special Meeting of the Board of Trustees of Seguin ISD was held Thursday, April 17, 2025, beginning at 6:30 p.m. in the Board Room, 1221 E. Kingsbury, Seguin, Texas.

Present: Joshua Bright, Lisa Burns, Denise Crettenden, Linda Duncan, William Dwyer (arrived at 7:36 p.m.), Alejandro R. Guerra (left at 9 p.m.), Grace Mueller, and Dr. Veronica Vijil, Superintendent

Absent:

Also Present: Dr. Jason Mummert, Director of School Leadership; Maria Guerra, Jefferson Elementary principal; Kim Erlanson, Jefferson Elementary teacher; Debora Rideaux, Jefferson Elementary teacher; Chris Schulz, attorney with Schulman, Lopez, Hoffer & Adelstein, LLP; Lisa Rocha, parent, and Nancy Ramirez, Superintendent Secretary.

1. Call to Order

- A. Mrs. Crettenden called the meeting to order at 6:34 p.m. and a quorum was established.
- B. The meeting of the Seguin ISD was called and notice of this meeting has been posted in accordance with the Texas Open Meetings Act, Section 551.043 of the Texas Government Code.
- C. The pledges were led by Mrs. Crettenden, followed by a moment of silence.

2. Audience with the Board

No one signed up to address the Board.

3. Closed Session: The Board adjourned into closed session at 6:36 p.m.

A. Pursuant to Texas Government Code Section §§§§ 551.071, 551.074, 551.0821, and 551.129-Consultation with legal counsel, including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.

1. To hear Level III parent grievance.

The Board followed proper procedures to hear the Level III parent grievance from L. Rocha.

4. Executive Session: The Board went into executive session at 7:35 p.m.

A. Pursuant to Texas Government Code Section §§§§ 551.071, 551.074, 551.0821, and 551.129 - Consultation with legal counsel, including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.

1. Deliberation regarding Level III parent grievance.

B. Pursuant to Texas Government Code Section § 551.074 - Discuss personnel matters, including appointment, employment, evaluation, reassignment, duties, discipline or dismissal of a employee(s).

5. Open Session: The Board reconvened into open session at 7:57 p.m.

A. Possible action on professional personnel, including appointment, employment, evaluation, assignment, duties, discipline or dismissal of a public employee(s).

B. Possible action, if any, to be taken in response to the Level III parent grievance.

Mr. Dwyer moved, seconded by Mr. Bright, to uphold the decision made in the Level II grievance.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, Guerra, and Mueller

Nays: None

6. Closed Session: The Board adjourned into closed session at 7:58 p.m.

A. Pursuant to Texas Government Code Section §§§§ 551.071, 551.074, 551.0821, and 551.129-Consultation with legal counsel, including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.

1. To hear Level III parent grievance.

The Board followed proper procedures to hear the Level III parent grievance from L. Rocha.

7. Executive Session: The Board went into executive session at 8:47 p.m.

A. Pursuant to Texas Government Code Section §§§§ 551.071, 551.074, 551.0821, and 551.129-Consultation with legal counsel, including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.

1. Deliberation regarding Level III parent grievance.

B. Pursuant to Texas Government Code Section § 551.074 - Discuss personnel matters, including appointment, employment, evaluation, reassignment, duties, discipline or dismissal of a employee(s).

8. Open Session: The Board reconvened into open session at 8:59 p.m.

A. Possible action on professional personnel, including appointment, employment, evaluation, assignment, duties, discipline or dismissal of a public employee(s).

B. Possible action, if any, to be taken in response to the Level III parent grievance.

Mrs. Burns moved, seconded by Ms. Duncan, to uphold the decision made in the Level II grievance.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, Guerra, and Mueller

Nays: None

9. Closed Session: The Board adjourned into closed session at 9:00 p.m. Mr. Guerra left the meeting.

A. Pursuant to Texas Government Code Section §§§§ 551.071, 551.074, 551.0821, and 551.129-Consultation with legal counsel, including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.

1. To hear Level III parent grievance.

The Board followed proper procedures to hear the Level III parent grievance from L. Rocha.

10. Executive Session: The Board went into executive session at 9:44 p.m.

A. Pursuant to Texas Government Code Section §§§§ 551.071, 551.074, 551.0821, and 551.129 - Consultation with legal counsel, including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.

1. Deliberation regarding Level III parent grievance.

B. Pursuant to Texas Government Code Section § 551.074 - Discuss personnel matters, including appointment, employment, evaluation, reassignment, duties, discipline or dismissal of a employee(s).

11. Open Session: The Board reconvened into open session at 9:54 p.m.

A. Possible action on professional personnel, including appointment, employment, evaluation, assignment, duties, discipline or dismissal of a public employee(s).

B. Possible action, if any, to be taken in response to the Level III parent grievance.

Mr. Bright moved, seconded by Mr. Dwyer, to uphold the decision made in the Level II grievance.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, and Mueller

Nays: None

12. Adjourn

Mr. Dwyer moved, seconded by Ms. Duncan, to adjourn the meeting. The meeting adjourned at 9:55 p.m.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, and Mueller

Nays: None

Secretary/May 20, 2025

President/May 20, 2025

Minutes of Regular Meeting

The Board of Trustees

Seguin ISD

A regular board meeting of the Board of Trustees of Seguin ISD was held Tuesday, April 22, 2025, beginning at 6:30 p.m. in the Board Room, 1221 E. Kingsbury, Seguin, Texas.

Present: Joshua Bright, Lisa Burns, Denise Crettenden, Linda Duncan, William Dwyer, Grace Mueller, and Dr. Veronica Vijil

Absent: Joel Trevino and Alejandro R. Guerra

Also Present: Dr. Ruben Carrillo, Chief Technology and Security Officer; Monica Lyons, Chief Academic Officer; Elizabeth Oaks, Chief Financial Officer; Emily Allen, Director of Communications; Dr. Jason Mummert, Director of School Leadership; Max Flores, Executive Director of Human Resources; Jay Law, Jim Barnes Middle School Principal; Robert Sand Jr., Construction Manager; Robyn Popa with Pfluger Architects, and Nancy Ramirez, Superintendent Secretary.

1. Call to Order

A. Mrs. Crettenden called the meeting to order at 6:31 p.m. and a quorum was established. The meeting of the Seguin ISD was called and notice of this meeting has been posted in accordance with the Texas Open Meetings Act, Section §551.043 of the Texas Government Code.

B. The pledges were led by Estella Rojo Navarro, a fifth grade student from Patlan Elementary School, followed by a moment of silence.

C. Superintendent Announcements:

Dr. Vijil provided the board and community with highlights, upcoming key dates, and event information since the last board meeting, which included recognizing staff and student achievements and successes from across the district. She also invited the community to the official groundbreaking ceremony of the Agricultural Science facility on Friday morning.

D. Board Member Reports:

The Board provided updates and information on recent activities, meetings, conferences, and school events they have participated in or attended.

2. Recognition/Campus Presentations

A. Student/Staff/Board/Community Recognition

The Board of Trustees recognized the following students and staff for their outstanding accomplishments:

- **Superintendent's Students of the Month from Patlan Elementary School, Rodriguez Elementary School, Barnes Middle School, and Mercer-Blumberg Learning Center**
Dr. Vijil was honored to recognize students Gabriella Batista, a third grade student at Rodriguez Elementary; Estrella Rojo Navarro a fifth grade student at Patlan Elementary; Jackson Koehler, a sixth grade student at Barnes Middle School; and Heaven Robinson, a student at Mercer-Blumberg Learning Center, as leaders and exceptional students in and out of the

classroom. They are all excellent role models working hard to achieve their goals while assisting their peers.

- **Seguin High School Colorguard**

Dr. Vijil was honored to recognize the 28 talented colorguard students who placed in several competitions and earned third place at State. Three students also received scholarships from the Texas Educational Colorguard Association.

- **Superintendent's Apple Award**

Dr. Vijil was honored to recognize Beto Rincon, Ballet Folklorico Director for the District, as the April recipient of the Superintendent's Apple Award for going above and beyond daily duties to cultivate, inspire, and empower his students, colleagues, and the Seguin ISD community.

B. Campus Highlight

The presentation was provided courtesy of Jim Barnes Middle School. Principal Jay Law and his staff shared information highlighting staff and campus cultural work, and programs used to improve their campus.

3. Audience with the Board

Peter Snaddon signed up to address the Board regarding the Appraisal District Facility.

The minutes will reflect the order of the meeting.

4. Closed Meeting –The Board went into closed session at 7:21 p.m.

A. Pursuant to Texas Government Code Section §§ 551.071, 551.074, 551.129 - Consultation with legal counsel including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.

B. Pursuant to Texas Government Code Section § 551.074 - Discuss personnel matters, including appointment, employment, evaluation, reassignment, duties, discipline or dismissal of an employee(s).

C. Pursuant to Texas Government Code Section § 551.072 - Discuss the sale, purchase, exchange, lease, or value of real property.

D. Pursuant to Texas Government Code Section § 551.0821 – Deliberation regarding public school student.

The Board recessed from 8:36 p.m. until 8:41 p.m.

5. Reconvene to Open Meeting: The Board reconvened at 8:41 p.m.

A. Possible action to approve professional personnel, including appointment, employment, evaluation, assignment, duties, discipline, or dismissal of employee(s).

The Board did not take action on this item.

6. Reports/Information Items:

D. Seguin ISD Bond Construction Update

The Board of Trustees received an update on current bond projects.

C. Furniture Replacement Project Information

The Board of Trustees received an elementary school furniture replacement update from Robyn Popa, with Pfluger Architects.

A. Introduction of Newly Appointed Administrators

The Board of Trustees acknowledged the newly appointed 2024-2025 Administrative Hire:

- **Dr. Kenneth Vogel – Chief of Student Support Services**

D. Personnel Information – Professional Employees

The Board of Trustees received information regarding the following resignations for the 2024-2025 school year listed below:

New Hire Elections:

Name	Location	Title	Effective Date
Dodd, Kay Lynn	Seguin High School	Counselor	03/27/25
Harrison, Jamie	Seguin High School	Mental Health Counselor	04/07/25
Korn, Danielle	Rodriguez Elementary	Teacher	04/14/25

Resignations:

Alvarado, Emily, Patlan Elementary, effective 05/29/25

Ms. Alvarado, 1st Grade Teacher, has resigned due to relocation.
Ms. Alvarado has 1 year with Seguin ISD.

Barrett, Candyce, Patlan Elementary, effective 06/17/25

Ms. Barrett, Teacher, has resigned due to family reasons.
Ms. Barrett has 10 years with Seguin ISD.

Bentley, Cynthia, Vogel Elementary, effective 05/29/25

Ms. Bentley, 3rd Grade Teacher, has resigned and elected to retire.
Ms. Bentley has 29 years with Seguin ISD.

Carlson, Bobbi, Matador Special Services Department, effective 05/31/25

Ms. Carlson, Occupational Therapist, has resigned and elected to retire.
Ms. Carlson has 29 years with Seguin ISD.

Chacon Brenes, Carlos, Jim Barnes Middle School, effective 05/29/25

Mr. Chacon Brenes, ESL Teacher, has resigned due to personal reasons.
Mr. Chacon Brenes has 1 year with Seguin ISD.

Holmes, Megan, Matador Special Services Department, effective 04/15/25

Ms. Holmes, Special Programs Specialist, has resigned due to other employment.
Ms. Holmes has 6 years with Seguin ISD.

Kent, Sarah, Vogel Elementary, effective 06/01/25

Ms. Kent, 1st Grade Teacher, has resigned due to relocation.
Ms. Kent has 7 years with Seguin ISD.

Kober, Kathryn, Curriculum & Instruction Department, effective 03/28/25

Dr. Kober, District Math Coordinator, has resigned to work for another school district.

Dr. Kober has 3 years with Seguin ISD.

Laird-Gutierrez, Kristen, Patlan Elementary, effective 05/29/25

Ms. Laird-Gutierrez, 2nd Grade Teacher, has resigned due to family reasons.

Ms. Laird-Gutierrez has 5 years with Seguin ISD.

Molina III, Leonardo, A.J. Briesemeister Middle School, effective 05/29/25

Mr. Molina, 8th Grade Teacher, has resigned and elected to retire.

Mr. Molina has 21 years with Seguin ISD.

Palmer, Amy, Patlan Elementary, effective 05/29/25

Ms. Palmer, Special Education Teacher, has resigned due to relocation.

Ms. Palmer has 2 years with Seguin ISD.

Rose-Cosby, Devin, Seguin High School, effective 02/17/25

Ms. Rose-Cosby, Math Teacher, has resigned due to personal reasons.

Ms. Rose-Cosby has 2 years with Seguin ISD.

Rosario Jr., Benjamin, A.J. Briesemeister Middle School, effective 07/31/25

Mr. Rosario, Spanish Teacher, has resigned due to other employment.

Mr. Rosario has 1 year with Seguin ISD.

Sandwith, Lorene, Weinert Elementary, effective 05/29/25

Ms. Sandwith, Teacher, has resigned due to personal reasons.

Ms. Sandwith has 1 year with Seguin ISD.

Trevino, Joel, Human Resources Department, effective 06/30/25

Mr. Trevino, Chief Human Resources Officer, has resigned and elected to retire.

Mr. Trevino has 2 years with Seguin ISD.

E. Budget Presentation

The Board of Trustees received an update from Ms. Oaks on budget planning.

F. Financial Statements for February 2025

The Board of Trustees received an update from Ms. Oaks regarding the financial statements for the General Fund, Child Nutrition Fund, and Debt Service Fund for February 2025.

G. Purchases made over \$50,000

The Board of Trustees received an update regarding purchases made greater than \$50,000.

7. Action Items

A. Instructional Materials Allotment (IMA) TEKS Certification

Ms. Mueller moved, seconded by Ms. Duncan, to approve the Instructional Materials Allotment (IMA) TEKS Certification for the 2025-2026 school year. Districts are required to certify annually to the State Board of Education and to the Commissioner that for each subject area in the required curriculum students have access to the instructional materials that cover all of the Texas Essential Knowledge and Skills (TEKS). Districts will be unable to submit any requisitions or disbursements

of IMA funds until the certification has been approved and submitted to the Texas Education Agency.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, and Mueller

Nays: None

B. Approval of Proposed Budget Amendments for April 2025

Mr. Dwyer moved, seconded by Mr. Bright, to approve the proposed budget amendments as presented.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, and Mueller

Nays: None

C. 2025-2026 Stipend Schedule Recommendation

Mrs. Burns moved, seconded by Mrs. Mueller, to postpone this item until the next regular board meeting. The Board would like additional information before they take action on this item.

Ayes: Burns, Crettenden, Duncan, Dwyer, and Mueller

Nays: Bright

8. Consent Agenda Items – Consider and Possible Approval:

A. Approval of Board Minutes for:

Special Meeting, March 3, 2025

Special Meeting, March 20, 2025

Regular Meeting, March 25, 2025

Special Meeting, March 27, 2025

Board Workshop, April 8, 2025

B. Approval of Tax Collection Reports for March 2025

The Board of Trustees approved the Guadalupe County Tax Office Monthly Recap from Daryl John, Guadalupe County Tax Assessor-Collector, for March 2025. The Texas Property Tax Code requires the collector of taxes for a taxing unit to prepare a written report of tax collections made for the preceding month. The Guadalupe County Tax Assessor-Collector collects ad valorem taxes for the District.

C. Approval of Donations Received March 2025

The Board of Trustees approved the donations received by the District during the month of March 2025. The District received donations in the amount of \$8,784.46 from various business and individuals. District Board Policy CDC (LOCAL) states "... any (unsolicited) gift that the potential donor has expressly made conditional upon the District's use for a specified purpose, or any gift of real property, shall require Board approval."

D. Approval of Investment Report for the Third Quarter Ended March 31, 2025

The Board of Trustees approved the Investment Report for the Quarter ended March 31, 2025. State law and Board Policy require quarterly reports regarding the District's investments. This report is designed to allow the Board of Trustees to review the investment activity for the Third Quarter Ended March 31, 2025. The District's earnings rates, investment position, and yield information are presented for the period.

E. Approval of District Annual Financial Audit Services

The Board of Trustees approved to contract with Crowe, LLP, for Annual Financial Audit Services for the fiscal year ended June 30, 2025.

F. Purchases made over \$50,000

The Board of Trustees approved the regular occurring purchases greater than \$50,000 that require 241

Board approval.

G. Seguin ISD Resolution Regarding the Office of the Governor’s Truancy Prevention Grant

The Board of Trustees approved the resolution for the application to the Office of the Governor Truancy Prevention Grant.

H. Acknowledge Public Information Act Requests March-April 2025

The Board of Trustees acknowledged the Public Information Act requests received since March 8, 2025.

Ms. Duncan moved, seconded by Mr. Bright, to approve the Consent Agenda Items as listed:

A. Approval of Board Minutes for:

Special Meeting, March 3, 2025

Special Meeting, March 20, 2025

Regular Meeting, March 25, 2025

Special Meeting, March 27, 2025

Board Workshop, April 8, 2025

B. Approval of Tax Collection Reports for March 2025

C. Approval of Donations Received March 2025

D. Approval of Investment Report for the Third Quarter Ended March 31, 2025

E. Approval of District Annual Financial Audit Services

F. Purchases made over \$50,000

G. Seguin ISD Resolution Regarding the Office of the Governor’s Truancy Prevention Grant

H. Acknowledge Public Information Act Requests March-April 2025

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, and Mueller

Nays: None

9. Action Items

A. Consideration and Possible Action Regarding Settlement of Contemplated Litigation by Employee

Mr. Bright moved, seconded by Ms. Duncan, to authorize the superintendent to take actions in accordance with discussions during closed session.

Ayes: Bright, Crettenden, Duncan, Dwyer, and Mueller

Nays: None

Abstains: Burns

B. Possible Action to Terminate Employment Agreement(s) at the End of the School Year

Mr. Dwyer moved, seconded by Mrs. Mueller, to extend the employment agreement for the employee discussed in closed session.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, and Mueller

Nays: None

C. Possible Action to Terminate Probationary Contract(s) at the End of the School Year

This item was no longer necessary; the Board did not take any action on this item.

10. Board Comments and Request

Ms. Duncan encouraged the community to attend the community involvement session focused on the profile of the next superintendent on Monday, April 28 at 6:30 p.m. at Seguin ISD Central Office.

Mrs. Crettenden encouraged the community to attend Matador Theatre’s One Act Play Region

Performance on Friday, April 25 at 1 p.m. at Southwest High School.

Mrs. Crettenden also read a comment from trustee Alejandro Guerra, who could not attend the meeting. He thanked Dr. Vijil and the leadership team for their work on the board packet. Mr. Guerra also called for continued promotion of the district's positive achievements and focus on areas of improvement.

All prior Board requests have been addressed.

11. Adjourn

Mr. Bright moved, seconded by Mr. Dwyer, to adjourn the meeting. The meeting adjourned at 10:57 p.m.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, and Mueller

Nays: None

Secretary/May 20, 2025

President/May 20, 2025

Minutes of Special Meeting

The Board of Trustees

Seguin ISD

A Special Meeting of the Board of Trustees of Seguin ISD was held Friday, May 9, 2025, beginning at 12:00 p.m. in the Board Room, 1221 E. Kingsbury, Seguin, Texas.

Present: Joshua Bright, Lisa Burns, Denise Crettenden, Linda Duncan, William Dwyer, Alejandro R. Guerra, Grace Mueller, and Dr. Veronica Vijil, Superintendent

Absent:

Also Present: Elizabeth Oaks, Chief Financial Officer; Joel Trevino, Chief of Human Resources; Chris Schulz, attorney with Schulman, Lopez, Hoffer & Adelstein, LLP; Levi Alan Robertson, community member (Virtual), and Nancy Ramirez, Superintendent Secretary.

1. Call to Order

- A. Mrs. Crettenden called the meeting to order at 12:04 p.m. and a quorum was established.
- B. The meeting of the Seguin ISD was called and notice of this meeting has been posted in accordance with the Texas Open Meetings Act, Section 551.043 of the Texas Government Code.
- C. The pledges were led by Mrs. Crettenden, followed by a moment of silence.

2. Audience with the Board

No one signed up to address the Board.

3. Closed Session: The Board adjourned into closed session at 12:07 p.m.

- A. Pursuant to Texas Government Code Section §§§§ 551.071, 551.074, 551.0821, and 551.129-Consultation with legal counsel, including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.
 1. To hear Level III public grievance.

The Board followed proper procedures to hear the Level III parent grievance from L. Robertson.

4. Executive Session: The Board went into executive session at 12:40 p.m.

- A. Pursuant to Texas Government Code Section §§§§ 551.071, 551.074, 551.0821, and 551.129 - Consultation with legal counsel, including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.
 1. Deliberation regarding Level III public grievance.

B. Pursuant to Texas Government Code Section § 551.074 - Discuss personnel matters, including appointment, employment, evaluation, reassignment, duties, discipline or dismissal of an employee(s).

5. Open Session: The Board reconvened into open session at 12:59 p.m.

- A. Possible action on professional personnel, including appointment, employment,

evaluation, assignment, duties, discipline or dismissal of a public employee(s).

B. Possible action, if any, to be taken in response to the Level III public grievance.
Mr. Guerra moved, seconded by Mrs. Burns, to approve the administration's findings.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, Guerra, and Mueller
Nays: None

- 6. Closed Session:** The Board adjourned into closed session at 1:03 p.m.
A. Pursuant to Texas Government Code Section §§§§ 551.071, 551.074, 551.0821, and 551.129-Consultation with legal counsel, including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.
1. Hearing regarding mid-year termination of employment agreement.

The Board followed proper hearing procedures regarding the mid-year termination of employment agreement.

- 7. Executive Session:** The Board did not go into executive session.
A. Pursuant to Texas Government Code Section §§§§ 551.071, 551.074, 551.0821, and 551.129-Consultation with legal counsel, including possible telephone consultation with legal counsel, as necessary, to address legal concerns, implications, and answer any legal questions regarding posted agenda items.
1. Deliberation regarding mid-year termination of employment agreement.

B. Pursuant to Texas Government Code Section § 551.074 - Discuss personnel matters, including appointment, employment, evaluation, reassignment, duties, discipline or dismissal of a employee(s).

- 8. Open Session:** The Board reconvened into open session at 1:11 p.m.
A. Possible Action to Terminate Employment Agreement(s) at Mid-Year

Mr. Dwyer moved, seconded by Ms. Duncan, to terminate the employee agreement at mid-year for the employee discussed.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, Guerra, and Mueller
Nays: None

9. Adjourn

Mr. Bright moved, seconded by Mr. Dwyer, to adjourn the meeting. The meeting adjourned at 1:12 p.m.

Ayes: Bright, Burns, Crettenden, Duncan, Dwyer, Guerra, and Mueller
Nays: None

Secretary/May 20, 2025

President/May 20, 2025

ACTION ITEM:

Approval of Tax Collection Reports for April 2025

RECOMMENDATION:

That the Board of Trustees approves the Guadalupe County Tax Office Monthly Recap from Daryl John, Guadalupe County Tax Assessor-Collector for April 2025.

RATIONALE:

The Texas Property Tax Code requires the collector of taxes for a taxing unit to prepare a written report of tax collections made for the preceding month. The Guadalupe County Tax Assessor-Collector collects ad valorem taxes for the District.

REFERENCE and COMPLIANCE:

BDAF (LEGAL) - Selection and Duties of Chief Tax Official

PAPERWORK IMPACT:

None

BUDGET IMPACT / INFORMATION:

Tax payments are received by direct deposit to the District's accounts at Lone Star Investment Pool. Payments are remitted to the District two days after the County receives them.

Total Tax Collections for the month of April 2025:

Current	\$	709,044
Delinquent		50,431
Penalty and Interest		82,729
Total Monthly Collections	\$	<u>842,204</u>

Total Tax Collections Year to Date	\$	<u>56,249,570</u>
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Delinquent Tax Levy	3,261,751
Percent Collected through March 2025	53.35%
Percent of Tax Levy Collected last year	56.49%

EXHIBITS:

None

RESOURCE PERSONNEL:

Elizabeth Oaks, Chief Financial Officer, RTSBA
Sally Eckhart, Budget Coordinator

Submitted by:

(Name)

(Address)

(Telephone)

(Date)

Dr. Veronica Vijil, Superintendent

1221 E. Kingsbury St., Seguin, TX 78155

(830) 401-8614

05/20/25

ACTION ITEM:

Approval of Donations Received April 2025

RECOMMENDATION:

That the Board of Trustees approve donations received by the District during the month of April 2025.

RATIONALE:

District Board policy CDC (Local) states "any (unsolicited) gift that the potential donor has expressly made conditional upon the District's use for a specified purpose, or any gift of real property, shall require Board approval."

REFERENCE and COMPLIANCE:

CDC (LOCAL) - Other Revenues: Gifts and Solicitations

PAPERWORK IMPACT:

None

BUDGET IMPACT / INFORMATION:

None

EXHIBITS:

Proposed Donations

RESOURCE PERSONNEL:

Elizabeth Oaks, Chief Financial Officer, RTSBA
Sally Eckhart, Budget Coordinator

Submitted by:

(Name)
(Address)
(Telephone)
(Date)

Dr. Veronica Vijil, Superintendent
1221 E. Kingsbury St., Seguin, TX 78155
(830) 401-8614
05/20/25

**Donations Received By Seguin ISD
During the 2024-25 School Year**

Donor	Purpose	Campus Receiving Donation	Date Rcvd	Amount/Value	Board Approval
Guadalupe Regional Medical Center	EOY and Teacher of the Year awards banquet	Seguin ISD HR department	04/30/25	\$ 5,000.00	pending

NOTE: This listing includes only documented, unsolicited donations received by the District during April 2025. Additional donations may have been received by campuses and subsequently deposited by the campus or student group without providing detailed documentation to the Business Department.

ACTION ITEM: **Approval of Agreement with Texas Association of School Boards for Workers' Compensation Coverage and Property, Liability, and Fleet Insurance for the period July 1, 2025, through June 30, 2026**

RECOMMENDATION: That the Board of Trustees approve the agreement with the Texas Association of School Boards, Inc. (TASB) Risk Management Fund to provide coverage for the District's workers' compensation, property, liability, and fleet insurance for the period July 1, 2025, through June 30, 2026 with a premium of \$877,386.

RATIONALE: The total cost for all services is \$107,034 more than in 2024-2025. Coverages under the plan include the following: property, auto (liability and physical damage), school liability, privacy & information security, violent acts, and workers' compensation. The cost increase is a result of added property, increased property values, increased costs in materials, and an overall increase in the severity and cost of weather-related claims in the state of Texas.

REFERENCE and COMPLIANCE: CRE (LEGAL) Insurance and Annuities Management Workers' Compensation, CRB (LEGAL) and CRB (LOCAL) Insurance and Annuities Management-Liability Insurance

BUDGET IMPACT / INFORMATION: Funds are provided by the Workers' Compensation Internal Service Fund and General Operating Fund.

EXHIBITS: None

RESOURCE PERSONNEL: Elizabeth Oaks, Chief Financial Officer, RTSBA
Jennifer Raske Martinez, Purchasing Coordinator, RTSBA

Submitted by:
(Name) Dr. Veronica Vijil, Superintendent
(Address) 1221 E. Kingsbury St., Seguin, TX 78155
(Telephone) (830) 401-8614

ACTION ITEM:

Approval of Credit by Exam Dates for 2025-2026

RECOMMENDATION:

That the Board approve the Credit by Exam dates.

RATIONALE:

A school district must provide at least one window to test in each of the time frames listed below:

Required Timeline as per 19 TAC §74.24	Seguin ISD Exam Dates
July 1 - September 30	July 28 – August 8, 2024
October 1 – December 31	October 13-31, 2024
January 1 - March 31	January 26 – February 13, 2025
April 1 - June 30	May 4-22, 2025

REFERENCE and COMPLIANCE:

EHDB (LOCAL), EHDC (LOCAL), and EHDC (LEGAL)

PAPERWORK IMPACT:

Minimal

BUDGET IMPACT/ INFORMATION:

Students will not be assessed a fee for the test; Seguin ISD will pay the exam fee.

EXHIBITS:

None

RESOURCE PERSONNEL:

Cynthia Borden, Director of Federal & State Accountability
Monica Lyons, Chief Academic Officer

Submitted by:

(Name) Dr. Veronica Vijil, Superintendent
(Address) 1221 E. Kingsbury St., Seguin, TX 78155
(Telephone) (830) 401-8614
(Date) 05/20/25

ACTION ITEM: **Personnel Action - Professional Employees**

RECOMMENDATION: Recommended that Board of Trustees approve the appointment of contractual employees recommended in May 2025.

RATIONALE: Strategic Goal 4: Seguin ISD will improve student, parent, and staff satisfaction as determined by the Gallup Poll.

REFERENCE and COMPLIANCE: DC (LOCAL), Employment Practices - The Board retains final authority for employment of contractual personnel in a position other than teacher, librarian, school counselor, or school nurse. The Board delegates to the Superintendent the authority to employ teachers, librarians, school counselors, and school nurses.

BUDGET IMPACT/ INFORMATION: New hires associated with replacement of personnel have been budgeted prior to the hiring process.

PAPERWORK IMPACT: Minimal

EXHIBITS: Personnel Information

RESOURCE PERSONNEL: Joel S. Treviño, Chief Human Resources Officer

Submitted by:
(Name) Dr. Veronica Vijil, Superintendent
(Address) 1221 E. Kingsbury St., Seguin, TX 78155
(Telephone) (830) 401-8614
(Date) 05/20/25

ACTION ITEM: **2025-2026 Stipend Schedule Recommendation**

RECOMMENDATION: The Board approves the 2025-2026 stipend schedule as recommended for all district employees.

RATIONALE: Strategic Goal 4: Seguin ISD will improve student, parent, and staff satisfaction as determined by the Gallup Poll.

Stipends for teachers are commonly used to compensate for responsibilities beyond the classroom, including after-school programs, extracurricular activities, and areas of critical needs.

The proposed recommendation includes strategic adjustments to selected academic, fine arts, and athletic stipends to ensure our district remains regionally competitive in attracting and retaining high quality staff.

As part of this proposal, “hold harmless” stipends will be provided to current employees in fine arts and athletics. These stipends are designed to ensure that no employee receives less than their total 2024-2025 stipend amount under option 1. Small reductions are made under option 2.

Once approved, these recommendations will be incorporated into the 2025–2026 Compensation Handbook.

REFERENCE and COMPLIANCE: DEAA (LEGAL) and DEAA (LOCAL) Compensation Plan, Incentives and Stipends

BUDGET IMPACT/ INFORMATION: None

PAPERWORK IMPACT: Revisions made to update the SISD Compensation Handbook.

EXHIBITS: 2025-2026 Stipend Schedule

RESOURCE PERSONNEL: Mr. Joel Trevino, Chief Human Resources Officer

Submitted by:
 (Name) Dr. Veronica Vijil, Superintendent
 (Address) 1221 E. Kingsbury St., Seguin, TX 78155
 (Telephone) (830) 401-8614
 (Date) 05/20/25

2025-2026 DISTRICT LEVEL STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION (current)	SUBMITTED BY	Proposed Change
DISTRICT LEAD COUNSELOR	1	\$3,000	SHS/SS	
DISTRICT LEAD LIBRARIAN	1	\$1,500	SHS/SS	
GT LEAD TEACHER	Varies	\$800	EH	Move to Elem
Special Education				
BEHAVIOR TEACHER/SPECIALIST	Varies	\$4,500	MSSD	
SPED - SPANISH DIRECT STU. INSTRUCTIONAL SERVICES	Varies	\$4,000	MSSD	
EESSENTIAL ACADEMICS TEACHER/SPECIALIST	Varies	\$4,500	MSSD	
LSSP	Varies	\$3,500	MSSD	
SPEECH THERAPIST (CERTIFIED CLINICAL COMPENTENCY)	Varies	\$2,500	MSSD	
VISUALLY IMPAIRMENT TEACHER	Varies	\$1,500	MSSD	
SPED CERTIFIED TEACHER OR QUALIFIED PROFESSIONAL IN A SPED ASSIGNMENT	Varies	\$1,500	MSSD	

2025-2026 ELEMENTARY STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION AMOUNT (current)	SUBMITTED BY	Proposed Change
BILINGUAL TEACHER OF RECORD	Varies	\$6,500	LLI Dept	
ESL TEACHER OF RECORD - DUAL LANGUAGE ASSIGNMENT (PARTNER TEACHER)	Varies	\$2,000	PRINCIPAL	
DI COACH - RISING STARS	1	\$200	PRINCIPAL	
DI COACH - TEAMS COMPETING IN REGIONAL COMPETITION*	1	\$300	PRINCIPAL	
DI COACH - TEAMS COMPETING IN STATE COMPETITION *	1	\$100	PRINCIPAL	
DI COACH - TEAMS COMPETING IN GLOBAL COMPETITION *	1	\$100	PRINCIPAL	
DI CLUB SPONSOR & COACH TRAINER *	1	\$2,000	PRINCIPAL	
GRADE LEVEL - (K, 1, 2, 3, 4, 5) LEAD TEACHER	5	\$350	PRINCIPAL	\$625
GT LEAD TEACHER	Varies	\$800	PRINCIPAL	moved
MENTOR TEACHER-1st YEAR COHORT	Varies	\$400	PRINCIPAL	
MENTOR TEACHER-2nd YEAR COHORT	Varies	\$300	PRINCIPAL	
ROBOTICS SPONSOR	1	\$300	PRINCIPAL	
UIL ELEMENTARY COORDINATOR	1	\$150	PRINCIPAL	\$750
UIL COACH **	1	\$150	PRINCIPAL	
<p>* D.I. Coach: This stipend pertains only to those exempt SISD employees who coach a team for their assigned campus. An employee may receive a stipend for coaching a team his/her child is on so long as other students from the assigned campus are also being served. An employee may not be paid a stipend for strictly serving as the coordinator within the school day. The intent of the stipend is to compensate employees for the additional "after hours" time involved in coaching.</p>				
<p>** U.I.L. coaches are expected to meet established criteria in order to earn the U.I.L. coaching stipend. Failure to meet the criteria, as determined by the principal, will result in loss of some or all of the coaching stipend.</p>				

2025-2026 MIDDLE SCHOOL STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION AMOUNT (CURRENT)	EXTRA DAYS	SUBMITTED BY	Proposed Change
BAND DIRECTOR (HEAD)	1	\$4,000	15	FA Coordinator	\$8,000
BAND DIRECTOR (ASSISTANT)	1	\$3,000	15	FA Coordinator	\$6,000
CHEERLEADER SPONSOR (HEAD)	1	\$900	0	Principal	\$2,000
CHEERLEADER SPONSOR (ASSISTANT)	1	\$500	0	Principal	\$1,000
CHOIR DIRECTOR	1	\$2,000	0	Principal	
CLUB SPONSOR	1	\$500	0	Principal	
DANCE SPONSOR -(HEAD)	1	\$900	0	Principal	\$2,000
DANCE SPONSOR - (ASSISTANT)	1	\$500	0	Principal	\$1,000
DEPARTMENT LEAD- CORE SUBJECTS	4	\$1,500	0	Principal	
DEPARTMENT LEAD - NON-CORE SUBJECTS	-	\$750	0	Principal	
DI COACH - COMPETING IN REGIONAL COMPETITION*	1	\$300	0	Principal	
DI COACH - COMPETING IN STATE COMPETITION*	1	\$100	0	Principal	
DI COACH - COMPETING IN GLOBAL COMPETITION*	1	\$100	0	Principal	
ESL TEACHER OF RECORD	Varies	\$2,000	0	Principal	
INSTRUCTIONAL COACHES	1	\$3,000	0	Principal	
JOURNALISM/YEARBOOK	1	\$500	0	Principal	
MARIACHI DIRECTOR	1	\$1,000	0	FA Coordinator	
MENTOR TEACHER-1st YEAR COHORT	Varies	\$400	0	Principal	
MENTOR TEACHER-2nd YEAR COHORT	Varies	\$300	0	Principal	
NATIONAL JUNIOR HONOR SOCIETY	1	\$300	0	Principal	\$500
ROBOTICS SPONSOR	1	\$300	0	Principal	
SCIENCE FAIR COORDINATOR	1	\$400	0	Principal	
STUDENT COUNCIL	1	\$500	0	Principal	
TECH ARTS	1	\$300	0	Principal	
THEATER ARTS	1	\$1,250	0	FA Coordinator	
UIL COACH**	1	Extra-Duty-Sheet		Principal	
UIL SPONSOR	1	\$500	0	Principal	\$1,000

* D.I. Coach: This stipend pertains only to those exempt SISD employees who coach a team for their assigned campus. An employee may receive a stipend for coaching a team his/her child is on so long as other students from the assigned campus are also being served. An employee may not be paid a stipend for strictly serving as the coordinator within the school day. The intent of the stipend is to compensate employees for the additional "after hours" time involved in coaching.

~~** U.I.L. coaches are expected to meet established criteria in order to earn the U.I.L. coaching stipend. Failure to meet the criteria, as determined by the principal, will result in loss of some or all of the coaching stipend.~~

2025-2026 HIGH SCHOOL STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION AMOUNT (CURRENT)	EXTRA DAYS	SUBMITTED BY	Proposed Change
BALLET FOLKLORICO DIRECTOR	1	\$3,000	0	FA Coordinator	
BAND DIRECTOR (HEAD)	1	\$11,000	0	FA Coordinator	New
BAND DIRECTOR (ASSISTANT)	1	\$7,000	0	FA Coordinator	
BROADCAST JOURNALISM	1	\$1,100	0	Principal	
CAREER & TECHNICAL EDUCATION (CTE) YOUTH ORGANIZATION SPONSORS: 15-20 STUDENTS	Varies	\$500	0	CTE Coordinator	
CAREER & TECHNICAL EDUCATION (CTE) YOUTH ORGANIZATION SPONSORS: 21-30 STUDENTS	Varies	\$750	0	CTE Coordinator	
CAREER & TECHNICAL EDUCATION (CTE) YOUTH ORGANIZATION SPONSORS: 35-50 STUDENTS	Varies	\$1,000	0	CTE Coordinator	
CAREER & TECHNICAL EDUCATION (CTE) YOUTH ORGANIZATION SPONSORS: 50+ STUDENTS	Varies	\$1,500	0	CTE Coordinator	
CHEERLEADER SPONSOR (HEAD)	1	\$3,600	0	Principal	\$5,000
CHEERLEADER SPONSOR (ASSISTANT)	1	\$2,100	0	Principal	\$3,500
CHOIR DIRECTOR	1	\$4,000	0	FA Coordinator	
COUNSELOR (HEAD)	1	\$3,000	0	Principal	
CYBER-PATRIOT SPONSOR	1	\$1,000	0	Principal	
DANCE/DRILL TEAM SPONSOR (HEAD)	1	\$3,600	0	Principal	\$5,000
DANCE/DRILL TEAM SPONSOR (ASSISTANT)	1	\$2,100	0	Principal	\$3,500
DEPARTMENT LEADS - CORE SUBJECTS	4	\$4,000	0	Principal	
DEPARTMENT LEADS - NON-CORE SUBJECTS	-	\$2,000	0	Principal	
EARLY COLLEGE HIGH SCHOOL - AVID COOR.	1	\$3,000	0	Principal	
EARLY COLLEGE HIGH SCHOOL - DUAL CREDIT*	Varies	****	0	Principal	
ESL TEACHER OF RECORD	Varies	\$2,000	0	Principal	
FLAG RUNNER SPONSOR	1	\$800	0	Principal	
MARIACHI DIRECTOR	1	\$3,000	10	FA Coordinator	\$7,000
MENTOR TEACHER-1st YEAR COHORT	Varies	\$400	0	Principal	
MENTOR TEACHER-2nd YEAR COHORT	Varies	\$300	0	Principal	
NATIONAL HONOR SOCIETY	-	\$750	0	Principal	
NEWSPAPER	1	\$1,100	0	Principal	\$1,600
SCIENCE FAIR COORDINATOR (HEAD)	1	\$2,500	0	Principal	
SCIENCE FAIR COORDINATOR (ASSISTANT)	1	\$1,000	0	Principal	
SPONSOR-FRESHMAN CLASS	1	\$800	0	Principal	
SPONSOR-SOPHMORE CLASS	1	\$800	0	Principal	
SPONSOR-JUNIOR CLASS	1	\$800	0	Principal	
SPONSOR-SENIOR CLASS	1	\$1,000	0	Principal	
STUDENT COUNCIL SPONSOR	1	\$800	0	Principal	\$1,000
THEATRE ARTS (HEAD)	1	\$4,000	0	FA Coordinator	
THEATRE ARTS (ASSISTANT)	1	\$1,500	0	FA Coordinator	\$2,500
UIL COACH* PER EVENT	Varies	\$400	0	Principal	
UIL SPONSOR**	Varies	\$2,500	0	Principal	
VIDEO SCOREBOARD	1	\$500	0	Principal	
VIDEO SCOREBOARD	1	\$250	0	Principal	
YEARBOOK	1	\$1,100	0	Principal	\$1,500

** U.I.L. sponsors are expected to meet established criteria in order to earn the U.I.L. coaching stipend. Failure to meet the criteria, as determined by the principal, will result in loss of some or all of the coaching stipend.

2025-2026 HS ATHLETIC STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION AMOUNT (CURRENT)	EXTRA DAYS	SUBMITTED BY	Proposed Changes
Athletic Department					
ADMIN	4	\$1,200	0	Athletic Dept.	
ATHLETIC DIRECTOR – Athletic Academic Duties	1	\$7,600	0	Athletic Dept.	\$0
ATHLETIC DIRECTOR - Admin Duties	1	\$10,000	0	Athletic Dept.	\$17,600
ASST ATHLETIC DIR./VOLLEYBALL - HEAD	1	\$7,000	0	Athletic Dept.	\$7,500
ATHLETIC TRAINER (HEAD)	1	\$12,000	25	Athletic Dept.	
ATHLETIC TRAINER (ASSISTANT)	1	\$11,000	25	Athletic Dept.	
STRENGTH –Head	1	\$4,500	25	Athletic Dept.	
VIDEO	1	\$1,500	25	Athletic Dept.	
STATISTICS	1	\$500	25	Athletic Dept.	
SPORTS					
BASKETBALL BOYS (HEAD)	2	\$3,500	20	Athletic Dept.	\$7,500
BASKETBALL BOYS (1st ASSISTANT)	2	\$2,000	varies	Athletic Dept.	\$5,500
BASKETBALL BOYS (ASSISTANT)	4	\$1,000	varies	Athletic Dept.	\$4,500
BASEBALL (HEAD)	1	\$3,500	20	Athletic Dept.	\$7,500
BASEBALL (1st ASSISTANT)	1	\$2,000	varies	Athletic Dept.	\$5,500
BASEBALL (ASSISTANT)	2	\$1,500	varies	Athletic Dept.	\$4,500
CROSS COUNTRY - (HEAD)	1	\$6,000	20	Athletic Dept.	
CROSS COUNTRY (ASSISTANT)	1	\$4,500	varies	Athletic Dept.	
FOOTBALL (OFFENSIVE COORDINATOR)	1	\$12,000	25	Athletic Dept.	\$13,500
FOOTBALL (DEFENSIVE COORDINATOR)	1	\$13,000	25	Athletic Dept.	\$13,500
FOOTBALL (ASSISTANT HEAD COACH)	1	\$12,000	25	Athletic Dept.	\$13,500
FOOTBALL (SPEC. TEAMS COORDINATOR)	1	\$4,000	25	Athletic Dept.	\$9,000
FOOTBALL (HEAD FRESHMAN COACH)	1	\$3,500	25	Athletic Dept.	\$8,000
FOOTBALL (ASSISTANT)	7	\$3,000	25	Athletic Dept.	\$7,400
GOLF (HEAD)	1	\$7,500	20	Athletic Dept.	
GOLF (ASSISTANT)	1	\$4,500	15	Athletic Dept.	
POWERLIFTING (HEAD)	1	\$5,500	20	Athletic Dept.	
POWERLIFTING (ASSISTANT)	1	\$3,500	varies	Athletic Dept.	
SOCCER BOYS (HEAD)	2	\$3,500	20	Athletic Dept.	\$7,500
SOCCER BOYS (1st ASSISTANT)	2	\$2,000	varies	Athletic Dept.	\$5,500
SOCCER BOYS (ASSISTANT)	2	\$1,500	varies	Athletic Dept.	\$4,500
SOFTBALL (HEAD)	1	\$7,500	20	Athletic Dept.	
SOFTBALL (1st ASSISTANT)	1	\$5,500	varies	Athletic Dept.	
SOFTBALL (ASSISTANT)	1	\$4,500	varies	Athletic Dept.	
TENNIS (HEAD)	1	\$7,500	20	Athletic Dept.	
TENNIS (ASSISTANT)	1	\$4,500	15	Athletic Dept.	
TRACK (HEAD)	1	\$7,500	20	Athletic Dept.	
TRACK (ASSISTANT)	5	\$4,500	varies	Athletic Dept.	
VOLLEYBALL (1st ASSISTANT)	1	\$2,500	varies	Athletic Dept.	\$6,000
VOLLEYBALL (ASSISTANT)	2	\$4,500	varies	Athletic Dept.	\$4,500
BASKETBALL GIRLS –Head	1	\$7,500	20	Athletic Dept.	
BASKETBALL GIRLS –1st Asst	1	\$5,500	varies	Athletic Dept.	
BASKETBALL GIRLS –Asst	2	\$4,500	varies	Athletic Dept.	
SOCCER GIRLS –Head	1	\$7,500	20	Athletic Dept.	
SOCCER GIRLS –JV	1	\$5,500	varies	Athletic Dept.	

Extra Days Stipends have expired, no extra days will be paid unless otherwise noted.

Hold Harmless Stipend – 2025–2026 School Year: Employees who received the Extra Days Stipend during the 2024–2025 school year and who continue in similar teaching and extracurricular assignments in 2025–2026 will receive a Hold Harmless Stipend. The Hold Harmless Stipend will be calculated based on: The difference in paid days, as outlined in the 2024–2025 Compensation Manual, and The updated stipend amounts for the 2025–2026 school year. This stipend is intended to ensure that 2024–2025 stipend compensation is not negatively impacted during the transition to the new stipend structure. For additional information, please contact Human Resources.

* SEGUIN TOTAL STIPENDS = total amount paid for stipend and extra days, note that no other school district in the Region 20 area pays for extra days

* LOCAL AREA AVERAGE - La Vernia ISD, Marion ISD, Navarro ISD, New Braunfels ISD, San Marcos CISD, SCUCISD

* TASB AREA AVERAGE - Gonzales ISD, Hays CISD, La Vernia ISD, Luling ISD, Marion ISD, Navarro ISD, New Braunfels ISD, San Marcos CISD, SCUCISD

* TASB REGION 20 AVERAGE - Alamo Heights ISD, Boerne ISD, Brackett ISD, Carrizo Springs CISD, Crystal City ISD, Devine ISD, Dilley ISD, Eagle Pass ISD, Edgewood ISD, Floresville ISD, Fort Sam Houston ISD, Harlandale ISD, Jourdanton ISD, Judson ISD, Kerville ISD, La Vernia ISD, Lytle ISD, Marion ISD, Medina ISD, Medina Valley ISD, Natalia ISD, Navarro ISD, New Braunfels ISD, North East ISD, Northside ISD, Pearsall ISD, Pleasanton ISD, Poteet ISD, Poth ISD, Sabinal ISD, SCUCISD, Seguin ISD, Somerset ISD, Southside ISD, Southwest ISD, Stockdale ISD, Utopia ISD

2025-2026 MS ATHLETIC STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION AMOUNT (CURRENT)	Extra Days	SUBMITTED BY	Proposed Change
BASKETBALL BOYS	8	\$1,200	3	Athletic Dept.	\$2,500
BASEBALL	2	\$1,200	3	Athletic Dept.	\$2,500
COORDINATOR	2	\$1,200	20	Athletic Dept.	\$2,500
CROSS COUNTRY	1	\$1,200	3	Athletic Dept.	\$2,500
FOOTBALL	5	\$1,200	3	Athletic Dept.	\$3,000
GOLF	1	\$1,200	3	Athletic Dept.	\$2,500
SOCCER BOYS	4	\$1,200	3	Athletic Dept.	\$2,500
BASKETBALL-GIRLS	4	\$1,200	3	Athletic Dept.	
SOCCER-GIRLS	2	\$1,200	3	Athletic Dept.	
SOFTBALL	2	\$1,200	3	Athletic Dept.	\$2,500
TENNIS	1	\$1,200	3	Athletic Dept.	\$2,500
TRACK	4	\$1,200	3	Athletic Dept.	\$2,500
VOLLEYBALL	4	\$1,200	3	Athletic Dept.	\$2,500

Extra Days Stipends have expired, no extra days will be paid unless otherwise noted.

Hold Harmless Stipend – 2025–2026 School Year: Employees who received the Extra Days Stipend during the 2024–2025 school year and who continue in similar teaching and extracurricular assignments in 2025–2026 will receive a Hold Harmless Stipend. The Hold Harmless Stipend will be calculated based on: The difference in paid days, as outlined in the 2024–2025 Compensation Manual, and The updated stipend amounts for the 2025–2026 school year. This stipend is intended to ensure that 2024–2025 stipend compensation is not negatively impacted during the transition to the new stipend structure. For additional information, please contact Human Resources.

* SEGUIN TOTAL STIPENDS = total amount paid for stipend and extra days, note that no other school district in the Region 20 area pays for ext

* LOCAL AREA AVERAGE - La Vernia ISD, Marion ISD, Navarro ISD, New Braunfels ISD, San Marcos CISD, SCUCISD

* TASB AREA AVERAGE - Gonzales ISD, Hays CISD, La Vernia ISD, Luling ISD, Marion ISD, Navarro ISD, New Braunfels ISD, San Marcos CISD, SCL

* TASB REGION 20 AVERAGE - Alamo Heights ISD, Boerne ISD, Brackett ISD, Carrizo Springs CISD, Crystal City ISD, Devine ISD, Dilley ISD, Eagle Edgewood ISD, Floresville ISD, Fort Sam Houston ISD, Harlandale ISD, Jourdanton ISD, Judson ISD, Kerville ISD, La Vernia ISD, Lytle ISD, Marior Medina ISD, Medina Valley ISD, Natalia ISD, Navarro ISD, New Braunfels ISD, North East ISD, Northside ISD, Pearsall ISD, Pleasanton ISD, Potee Poth ISD, Sabinal ISD, SCUCISD, Seguin ISD, Somerset ISD, Southside ISD, Southwest ISD, Stockdale ISD, Utopia ISD

2025-2026 DISTRICT LEVEL STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION	SUBMITTED BY
DISTRICT LEAD COUNSELOR	1	\$3,000	SHS/SS
DISTRICT LEAD LIBRARIAN	1	\$1,500	SHS/SS
Special Education			
BEHAVIOR TEACHER/SPECIALIST	Varies	\$4,500	MSSD
SPED - SPANISH DIRECT STU. INSTRUCTIONAL SERVICES	Varies	\$4,000	MSSD
EESENTIAL ACADEMICS TEACHER/SPECIALIST	Varies	\$4,500	MSSD
LSSP	Varies	\$3,500	MSSD
SPEECH THERAPIST (CERTIFIED CLINICAL COMPENTENCY)	Varies	\$2,500	MSSD
VISUALLY IMPAIRMENT TEACHER	Varies	\$1,500	MSSD
SPED CERTIFIED TEACHER OR QUALIFIED PROFESSIONAL IN A SPED ASSIGNMENT	Varies	\$1,500	MSSD

2025-2026 ELEMENTARY STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION AMOUNT	SUBMITTED BY
BILINGUAL TEACHER OF RECORD	Varies	\$6,500	LLI Dept
ESL TEACHER OF RECORD - DUAL LANGUAGE ASSIGNMENT (PARTNER TEACHER)	Varies	\$2,000	PRINCIPAL
DI COACH - RISING STARS	1	\$200	PRINCIPAL
DI COACH - TEAMS COMPETING IN REGIONAL COMPETITION*	1	\$300	PRINCIPAL
DI COACH - TEAMS COMPETING IN STATE COMPETITION *	1	\$100	PRINCIPAL
DI COACH - TEAMS COMPETING IN GLOBAL COMPETITION *	1	\$100	PRINCIPAL
DI CLUB SPONSOR & COACH TRAINER *	1	\$2,000	PRINCIPAL
GRADE LEVEL - (K, 1, 2, 3, 4, 5) LEAD TEACHER	5	\$625	PRINCIPAL
GT LEAD TEACHER	Varies	\$800	PRINCIPAL
MENTOR TEACHER-1st YEAR COHORT	Varies	\$400	PRINCIPAL
MENTOR TEACHER-2nd YEAR COHORT	Varies	\$300	PRINCIPAL
ROBOTICS SPONSOR	1	\$300	PRINCIPAL
UIL ELEMENTARY COORDINATOR	1	\$750	PRINCIPAL
UIL COACH **	1	\$150	PRINCIPAL

* D.I. Coach: This stipend pertains only to those exempt SISD employees who coach a team for their assigned campus. An employee may receive a stipend for coaching a team his/her child is on so long as other students from the assigned campus are also being served. An employee may not be paid a stipend for strictly serving as the coordinator within the school day. The intent of the stipend is to compensate employees for the additional "after hours" time involved in coaching.

** U.I.L. coaches are expected to meet established criteria in order to earn the U.I.L. coaching stipend. Failure to meet the criteria, as determined by the principal, will result in loss of some or all of the coaching stipend.

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION AMOUNT	SUBMITTED BY
BAND DIRECTOR (HEAD)	1	\$8,000	FA Coordinator
BAND DIRECTOR (ASSISTANT)	1	\$6,000	FA Coordinator
CHEERLEADER SPONSOR (HEAD)	1	\$2,000	Principal
CHEERLEADER SPONSOR (ASSISTANT)	1	\$1,000	Principal
CHOIR DIRECTOR	1	\$2,000	Principal
CLUB SPONSOR	1	\$500	Principal
DANCE SPONSOR -(HEAD)	1	\$2,000	Principal
DANCE SPONSOR - (ASSISTANT)	1	\$1,000	Principal
DEPARTMENT LEAD- CORE SUBJECTS	4	\$1,500	Principal
DEPARTMENT LEAD - NON-CORE SUBJECTS	Varies	\$750	Principal
DI COACH - COMPETING IN REGIONAL COMPETITION*	1	\$300	Principal
DI COACH - COMPETING IN STATE COMPETITION*	1	\$100	Principal
DI COACH - COMPETING IN GLOBAL COMPETITION*	1	\$100	Principal
ESL TEACHER OF RECORD	Varies	\$2,000	Principal
INSTRUCTIONAL COACHES	1	\$3,000	Principal
JOURNALISM/YEARBOOK	1	\$500	Principal
MARIACHI DIRECTOR	1	\$1,000	FA Coordinator
MENTOR TEACHER-1st YEAR COHORT	Varies	\$400	Principal
MENTOR TEACHER-2nd YEAR COHORT	Varies	\$300	Principal
NATIONAL JUNIOR HONOR SOCIETY	1	\$500	Principal
ROBOTICS SPONSOR	1	\$300	Principal
SCIENCE FAIR COORDINATOR	1	\$400	Principal
STUDENT COUNCIL	1	\$500	Principal
TECH ARTS	1	\$300	Principal
THEATER ARTS	1	\$1,250	FA Coordinator
UIL SPONSOR	1	\$1,000	Principal

* D.I. Coach: This stipend pertains only to those exempt SISD employees who coach a team for their assigned campus. An employee may receive a stipend for coaching a team his/her child is on so long as other students from the assigned campus are also being served. An employee may not be paid a stipend for strictly serving as the coordinator within the school day. The intent of the stipend is to compensate employees for the additional "after hours" time involved in coaching.

2025-2026 HIGH SCHOOL STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION AMOUNT	SUBMITTED BY
BALLET FOLKLORICO DIRECTOR	1	\$3,000	FA Coordinator
BAND DIRECTOR (HEAD)	1	\$11,000	FA Coordinator
BAND DIRECTOR (ASSISTANT)	1	\$7,000	FA Coordinator
BROADCAST JOURNALISM	1	\$1,100	Principal
CAREER & TECHNICAL EDUCATION (CTE) YOUTH ORGANIZATION SPONSORS: 15-20 STUDENTS	Varies	\$500	CTE Coordinator
CAREER & TECHNICAL EDUCATION (CTE) YOUTH ORGANIZATION SPONSORS: 21-30 STUDENTS	Varies	\$750	CTE Coordinator
CAREER & TECHNICAL EDUCATION (CTE) YOUTH ORGANIZATION SPONSORS: 35-50 STUDENTS	Varies	\$1,000	CTE Coordinator
CAREER & TECHNICAL EDUCATION (CTE) YOUTH ORGANIZATION SPONSORS: 50+ STUDENTS	Varies	\$1,500	CTE Coordinator
CHEERLEADER SPONSOR (HEAD)	1	\$5,000	Principal
CHEERLEADER SPONSOR (ASSISTANT)	1	\$3,500	Principal
CHOIR DIRECTOR	1	\$4,000	FA Coordinator
COUNSELOR (HEAD)	1	\$3,000	Principal
CYBER-PATRIOT SPONSOR	1	\$1,000	Principal
DANCE/DRILL TEAM SPONSOR (HEAD)	1	\$5,000	Principal
DANCE/DRILL TEAM SPONSOR (ASSISTANT)	1	\$3,500	Principal
DEPARTMENT LEADS - Core Subjects	4	\$4,000	Principal
DEPARTMENT LEADS - Non-Core Subjects	Varies	\$2,000	Principal
EARLY COLLEGE HIGH SCHOOL - AVID Coordinator	1	\$3,000	Principal
EARLY COLLEGE HIGH SCHOOL - DUAL CREDIT	Varies	****	Principal
ESL TEACHER OF RECORD	Varies	\$2,000	Principal
FLAG RUNNER SPONSOR	1	\$800	Principal
MARIACHI DIRECTOR	1	\$7,000	FA Coordinator
MENTOR TEACHER-1st YEAR COHORT	Varies	\$400	Principal
MENTOR TEACHER-2nd YEAR COHORT	Varies	\$300	Principal
NATIONAL HONOR SOCIETY	-	\$750	Principal
NEWSPAPER	1	\$1,600	Principal
SCIENCE FAIR COORDINATOR (HEAD)	1	\$2,500	Principal
SCIENCE FAIR COORDINATOR (ASSISTANT)	1	\$1,000	Principal
SPONSOR-FRESHMAN CLASS	1	\$800	Principal
SPONSOR-SOPHMORE CLASS	1	\$800	Principal
SPONSOR-JUNIOR CLASS	1	\$800	Principal
SPONSOR-SENIOR CLASS	1	\$1,000	Principal
STUDENT COUNCIL SPONSOR	1	\$1,000	Principal
THEATRE ARTS (HEAD)	1	\$4,000	FA Coordinator
THEATRE ARTS (ASSISTANT)	1	\$2,500	FA Coordinator
UIL COACH PER EVENT	Varies	\$400	Principal
UIL SPONSOR**	Varies	\$2,500	Principal
VIDEO SCOREBOARD	1	\$500	Principal
VIDEO SCOREBOARD	1	\$250	Principal
YEARBOOK	1	\$1,500	Principal

** U.I.L. sponsors are expected to meet established criteria in order to earn the U.I.L. coaching stipend. Failure to meet the criteria, as determined by the principal, will result in loss of some or all of the coaching stipend.

2025-2026 HS ATHLETIC STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION AMOUNT	SUBMITTED BY
Athletic Department			
ADMIN	4	\$1,200	Athletic Dept.
ATHLETIC DIRECTOR - ADMIN DUTIES	1	\$17,600	Athletic Dept.
ASST ATHLETIC DIR./VOLLEYBALL (HEAD)	1	\$7,500	Athletic Dept.
ATHLETIC TRAINER (HEAD)	1	\$12,000	Athletic Dept.
ATHLETIC TRAINER (ASSISTANT)	1	\$11,000	Athletic Dept.
STRENGTH	1	\$4,500	Athletic Dept.
SPORTS			
BASKETBALL (HEAD)	2	\$7,500	Athletic Dept.
BASKETBALL (1st ASSISTANT)	2	\$5,500	Athletic Dept.
BASKETBALL (ASSISTANT)	4	\$4,500	Athletic Dept.
BASEBALL (HEAD)	1	\$7,500	Athletic Dept.
BASEBALL (1st ASSISTANT)	1	\$5,500	Athletic Dept.
BASEBALL (ASSISTANT)	2	\$4,500	Athletic Dept.
CROSS COUNTRY - (HEAD)	1	\$6,000	Athletic Dept.
CROSS COUNTRY (ASSISTANT)	1	\$4,500	Athletic Dept.
FOOTBALL (OFFENSIVE COORDINATOR)	1	\$13,500	Athletic Dept.
FOOTBALL (DEFENSIVE COORDINATOR)	1	\$13,500	Athletic Dept.
FOOTBALL (ASSISTANT HEAD COACH)	1	\$13,500	Athletic Dept.
FOOTBALL (SPEC. TEAMS COORDINATOR)	1	\$9,000	Athletic Dept.
FOOTBALL (HEAD FRESHMAN COACH)	1	\$8,000	Athletic Dept.
FOOTBALL (ASSISTANT)	7	\$7,400	Athletic Dept.
GOLF (HEAD)	1	\$7,500	Athletic Dept.
GOLF (ASSISTANT)	1	\$4,500	Athletic Dept.
POWERLIFTING (HEAD)	1	\$5,500	Athletic Dept.
POWERLIFTING (ASSISTANT)	1	\$3,500	Athletic Dept.
SOCCER (HEAD)	2	\$7,500	Athletic Dept.
SOCCER (1st ASSISTANT)	2	\$5,500	Athletic Dept.
SOCCER (ASSISTANT)	2	\$5,000	Athletic Dept.
SOFTBALL (HEAD)	1	\$7,500	Athletic Dept.
SOFTBALL (1st ASSISTANT)	1	\$5,500	Athletic Dept.
SOFTBALL (ASSISTANT)	1	\$4,500	Athletic Dept.
TENNIS (HEAD)	1	\$7,500	Athletic Dept.
TENNIS (ASSISTANT)	1	\$4,500	Athletic Dept.
TRACK (HEAD)	1	\$7,500	Athletic Dept.
TRACK (ASSISTANT)	5	\$4,500	Athletic Dept.
VOLLEYBALL (1st ASSISTANT)	1	\$6,000	Athletic Dept.
VOLLEYBALL (ASSISTANT)	2	\$4,500	Athletic Dept.

Extra Days Stipends have expired, no extra days will be paid unless otherwise noted.

Hold Harmless Stipend – 2025–2026 School Year: Employees who received the Extra Days Stipend during the 2024–2025 school year and who continue in similar teaching and extracurricular assignments in 2025–2026 will receive a Hold Harmless Stipend. The Hold Harmless Stipend will be calculated based on: The difference in paid days, as outlined in the 2024–2025 Compensation Manual, and The updated stipend amounts for the 2025–2026 school year. This stipend is intended to ensure that 2024–2025 stipend compensation is not negatively impacted during the transition to the new stipend structure. For additional information, please contact Human Resources.

* SEGUIN TOTAL STIPENDS = total amount paid for stipend and extra days, note that no other school district in the Region 20 area pays for extra days

* LOCAL AREA AVERAGE - La Vernia ISD, Marion ISD, Navarro ISD, New Braunfels ISD, San Marcos CISD, SCUCISD

* TASB AREA AVERAGE - Gonzales ISD, Hays CISD, La Vernia ISD, Luling ISD, Marion ISD, Navarro ISD, New Braunfels ISD, San Marcos CISD, SCUCISD

* TASB REGION 20 AVERAGE - Alamo Heights ISD, Boerne ISD, Brackett ISD, Carrizo Springs CISD, Crystal City ISD, Devine ISD, Dille ISD, Eagle Pass ISD, Edgewood ISD, Floresville ISD, Fort Sam Houston ISD, Harlandale ISD, Jourdan ISD, Judson ISD, Kerville ISD, La Vernia ISD, Lytle ISD, Marion ISD, Medina ISD, Medina Valley ISD, Natalia ISD, Navarro ISD, New Braunfels ISD, North East ISD, Northside ISD, Pearsall ISD, Pleasanton ISD, Poteet ISD, Poth ISD, Sabinal ISD, SCUCISD, Seguin ISD, Somerset ISD, Southside ISD, Southwest ISD, Stockdale ISD, Utopia ISD

2025-2026 MS ATHLETIC STIPEND SCHEDULE

TYPE OF STIPEND AND DESCRIPTION	TOTAL NUMBER OF STIPENDS	FULL TIME POSITION AMOUNT	SUBMITTED BY
BASKETBALL	8	\$2,500	Athletic Dept.
BASEBALL	2	\$2,500	Athletic Dept.
COORDINATOR	2	\$2,500	Athletic Dept.
CROSS COUNTRY	1	\$2,500	Athletic Dept.
FOOTBALL	5	\$3,000	Athletic Dept.
GOLF	1	\$2,500	Athletic Dept.
SOCCER	4	\$2,500	Athletic Dept.
SOFTBALL	2	\$2,500	Athletic Dept.
TENNIS	1	\$2,500	Athletic Dept.
TRACK	4	\$2,500	Athletic Dept.
VOLLEYBALL	4	\$2,500	Athletic Dept.

Extra Days Stipends have expired, no extra days will be paid unless otherwise noted.

Hold Harmless Stipend – 2025–2026 School Year: Employees who received the Extra Days Stipend during the 2024–2025 school year and who continue in similar teaching and extracurricular assignments in 2025–2026 will receive a Hold Harmless Stipend. The Hold Harmless Stipend will be calculated based on: The difference in paid days, as outlined in the 2024–2025 Compensation Manual, and The updated stipend amounts for the 2025–2026 school year. This stipend is intended to ensure that 2024–2025 stipend compensation is not negatively impacted during the transition to the new stipend structure. For additional information, please contact Human Resources.

* SEGUIN TOTAL STIPENDS = total amount paid for stipend and extra days, note that no other school district in the Region 20 area pays for extra days

* LOCAL AREA AVERAGE - La Vernia ISD, Marion ISD, Navarro ISD, New Braunfels ISD, San Marcos CISD, SCUCISD

* TASB AREA AVERAGE - Gonzales ISD, Hays CISD, La Vernia ISD, Luling ISD, Marion ISD, Navarro ISD, New Braunfels ISD, San Marcos CISD, SCUCISD

* TASB REGION 20 AVERAGE - Alamo Heights ISD, Boerne ISD, Brackett ISD, Carrizo Springs CISD, Crystal City ISD,

ACTION ITEM:

Approval of Seguin ISD Depository Services (RFP #: 25-05)

RECOMMENDATION:

That the Board of Trustees approve to contract with First Commercial Bank, N.A. for Depository Services for the 2025-2027 Biennium.

RATIONALE:

Texas Education Code Subchapter G, Section 45.206(a) states school districts must select a depository through competitive bidding or requests for proposals. Section 45.205(c) states the "contract term must coincide with the school district's fiscal year."

A Requests for Proposals (RFP#: 25-05) was issued on April 1, 2025, for Depository Services. Notices and proposal packets were mailed to all banks located in the district. Of the three (3) responses received, all met the RFP requirements. This recommendation is based primarily, although not exclusively, on the best value for the services provided and the working relationship of the bank to the District.

REFERENCE and COMPLIANCE:

BDAE (LEGAL) and BDAE (LOCAL) Officers and Officials Duties and Requirements of Depository

BUDGET IMPACT / INFORMATION:

Funds to be provided by the General Operating Fund.

EXHIBITS:

Bid Tabulation & Recommendation

RESOURCE PERSONNEL:

Elizabeth Oaks, Chief Financial Officer, RTSBA
Jennifer Raske Martinez, Purchasing Coordinator, RTSBA

Submitted by:

(Name)

Dr. Veronica Vijil, Superintendent

(Address)

1221 E. Kingsbury St., Seguin, TX 78155

(Telephone)

(830) 401-8614

(Date)

05/20/25

Seguin ISD

Bid Tabulation Summary

Depository Services (RFP: 25-05)

TYPE	PROJECT TITLE
RFP	Depository Services
NUMBER	ISSUING DEPARTMENT
25-05	Business

	DATE 1	DATE 2
POSTING	NA	NA
PRE-BID	NA	N/A
CLOSING	04/30/25	N/A
BOARD	05/20/25	N/A

AVERAGE SCORE							
MAX	MAX	MAX	MAX	MAX	MAX	MAX	MAX
25	10	10	25	15	10	5	100
COST (SCORE)	FUNDS AVAILABILITY	AUTOMATED SERVICES OFFERED	BANK CAPABILITIES & EXPERIENCE	COLLATERALIZATION	FRAUD PREVENTION	INTEREST RATES	TOTAL
21.00	10.00	10.00	25.00	15.00	10.00	5.00	96.00
17.00	10.00	10.00	23.33	15.00	10.00	5.00	90.33
21.33	10.00	10.00	23.33	15.00	10.00	5.00	94.67
							-
							-
							-
							-

RECOMMENDATION	SCORE	JUSTIFICATION FOR THIS RECOMMENDATION
First Commercial	96.00	The evaluation team, consisting of staff members representing various areas of District operations, considers the First Commercial proposal to be the best value for this project. First Commercial's rates, fees, and bank capabilities were keep factors leading to this recommendation